



Mayor Tammy de Weerd

City Council Members:

Keith Bird  
Luke Cavener  
Ty Palmer

Joe Borton  
Genesis Milam  
Anne Little Roberts

TRANSMITTALS TO AGENCIES FOR COMMENTS ON  
DEVELOPMENT PROJECTS WITH THE CITY OF MERIDIAN

To ensure that your comments and recommendations will be considered by  
the Meridian Planning and Zoning Commission please submit your  
comments and recommendations to Meridian City Hall

Attn: Jaycee Holman, City Clerk, by: \_\_\_\_\_ April 14, 2016  
Transmittal Date: March 14, 2016 File No.: H-2016-0019  
Hearing Date: April 21, 2016  
Request: Public Hearing - Annexation & Zoning of 40.88 acres of land with an R-8  
zoning district AND Preliminary Plat approval consisting of 197 residential  
building lots & 33 common lots on 40.88 acres of land in a proposed R-8 zoning  
district for Whiteacre Subdivision  
By: EGC Development, LLC  
Location of Property or Project: NEC of N. Meridian Road & W. McMillan Road

- |  |  |
|--|--|
| <input type="checkbox"/> Ryan Fitzgerald (No FP) | <input type="checkbox"/> Meridian School District                |
| <input type="checkbox"/> Gregory Wilson (No FP)  | <input type="checkbox"/> Meridian Post Office                    |
| <input type="checkbox"/> Steven Yearsley (No FP) | <input type="checkbox"/> Ada County Highway District             |
| <input type="checkbox"/> Patrick Oliver (No FP)  | <input type="checkbox"/> Ada County Development Services         |
| <input type="checkbox"/> Rhonda McCarvel (No FP) | <input type="checkbox"/> Central District Health                 |
| <input type="checkbox"/> Tammy de Weerd, Mayor   | <input type="checkbox"/> COMPASS                                 |
| <input type="checkbox"/> City Council            | <input type="checkbox"/> Nampa Meridian Irrig. District          |
| <input type="checkbox"/> Sanitary Services       | <input type="checkbox"/> Settlers Irrig. District                |
| <input type="checkbox"/> Building Department     | <input type="checkbox"/> Idaho Power Company                     |
| <input type="checkbox"/> Fire Department         | <input type="checkbox"/> Qwest                                   |
| <input type="checkbox"/> Police Department       | <input type="checkbox"/> Intermountain Gas Co.                   |
| <input type="checkbox"/> City Attorney           | <input type="checkbox"/> Idaho Transportation Dept.              |
| <input type="checkbox"/> City Public Works       | <input type="checkbox"/> Ada County Ass. Land Records            |
| <input type="checkbox"/> City Planner            | <input type="checkbox"/> Downtown Projects:                      |
| <input type="checkbox"/> Parks Department        | <input type="checkbox"/> Meridian Development Corp.              |
| <input type="checkbox"/> Economic Dev.           | <input type="checkbox"/> Historical Preservation Comm.           |
|  | <input type="checkbox"/> South of RR / SW Meridian:              |
|  | <input type="checkbox"/> NW Pipeline                             |
|  | <input type="checkbox"/> New York Irrigation District            |
|  | <input type="checkbox"/> Boise-Kuna Irrigation District          |
|  | <input type="checkbox"/> Boise Project Board of Control/Tim Page |

## Hearing Date: April 21, 2016

File No.: H-2016-0019

Project Name: Whiteacre Subdivision-AZ, PP

Request: (AZ): Request for annexation and zoning of 40.88 acres of land with an R-8 zoning district, by Providence Properties, LLC.

(PP): Request for preliminary plat consisting of 197 residential building lots and 33 common lots on 40.88 acres of land in a proposed R-8 zoning district, by Providence Properties, LLC

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Location: The site is located near the northeast corner of N. Meridian Road and W. Mcmillan Rd, in the NW ¼ of Section 36, Township 4N., Range 1W.

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RECEIVED  
FEB 11 2016

Planning Division  
DEVELOPMENT REVIEW APPLICATION

Hearing Date: April 7, 2016

**STAFF USE ONLY:**  
 Project name: Whiteacre Subdivision  
 File number(s): H-2016-0019  
 Assigned Planner: Josh Beach Related files: \_\_\_\_\_

**Type of Review Requested (check all that apply)**

- |   |   |
|---|---|
| <input type="checkbox"/> Accessory Use                      | <input type="checkbox"/> Planned Unit Development     |
| <input type="checkbox"/> Administrative Design Review       | <input type="checkbox"/> Preliminary Plat             |
| <input type="checkbox"/> Alternative Compliance             | <input type="checkbox"/> Private Street               |
| <input type="checkbox"/> Annexation and Zoning              | <input type="checkbox"/> Property Boundary Adjustment |
| <input type="checkbox"/> Certificate of Zoning Compliance   | <input type="checkbox"/> Rezone                       |
| <input type="checkbox"/> City Council Review                | <input type="checkbox"/> Short Plat                   |
| <input type="checkbox"/> Comprehensive Plan Map Amendment   | <input type="checkbox"/> Time Extension:              |
| <input type="checkbox"/> Comprehensive Plan Text Amendment  | Director/ Commission/Council (circle one)             |
| <input type="checkbox"/> Conditional Use Permit             | <input type="checkbox"/> UDC Text Amendment           |
| <input type="checkbox"/> Conditional Use Modification       | <input type="checkbox"/> Vacation:                    |
| Director/Commission (circle one)                            | Director/ Council (circle one)                        |
| <input type="checkbox"/> Development Agreement Modification | <input type="checkbox"/> Variance                     |
| <input type="checkbox"/> Final Plat                         | <input type="checkbox"/> Other _____                  |
| <input type="checkbox"/> Final Plat Modification            |   |

**Applicant Information**

Applicant name: Providence Properties LLC Phone: 433-8000  
 Applicant address: 701 S. Allen St Ste 103 Email: MARMUTH@HubbleHomes.com  
 City: Meridian State: ID Zip: 83642

Applicant's interest in property:  Own  Rent  Optioned  Other \_\_\_\_\_

Owner name: Thirteen Hectare LLC Phone: 433 8000  
 Owner address: 203 11th Ave Email: MARMUTH@HubbleHomes.com  
 City: Nampa State: ID Zip: 83651

Agent/Contact name (e.g., architect, engineer, developer, representative): Kent Brown  
 Firm name: Kent Brown Planning Phone: 871-6842  
 Agent address: 3161 E Springwood Email: KentLKB@gmail.com  
 City: Meridian State: ID Zip: 83642

Primary contact is:  Applicant  Owner  Agent/Contact

**Subject Property Information**

Location/street address: 4273 N Meridian Rd Township, range, section: 4N1W 36  
 Assessor's parcel number(s): 50436141950 Total acreage: 40.88 ac Zoning district: BLT  
50436141850  
50436142200

Project/subdivision name: Whitaker Subdivision

General description of proposed project/request: Annexation & Zoning of 40.88 AC to  
A R-8 ZONE Preliminary Plat for

Proposed zoning district(s): R 8

Acres of each zone proposed: 40.88 AC

Type of use proposed (check all that apply):

Residential  Office  Commercial  Employment  Industrial  Other \_\_\_\_\_

Who will own & maintain the pressurized irrigation system in this development? HOA

Which irrigation district does this property lie within? Settler's

Primary irrigation source: \_\_\_\_\_ Secondary: \_\_\_\_\_

Square footage of landscaped areas to be irrigated (if primary or secondary point of connection is City water): 5,81

**Residential Project Summary (if applicable)**

Number of residential units: 197 Number of building lots: 197

Number of common lots: 33 Number of other lots: \_\_\_\_\_

Proposed number of dwelling units (for multi-family developments only):

1 bedroom: \_\_\_\_\_ 2-3 bedrooms: \_\_\_\_\_ 4 or more bedrooms: \_\_\_\_\_

Minimum square footage of structure (excl. garage): \_\_\_\_\_ Maximum building height: 35

Minimum property size (s.f.): 4000 SF Average property size (s.f.): 5636

Gross density (Per UDC 11-1A-1): 4.8 Net density (Per UDC 11-1A-1): 7.7

Acreage of qualified open space: 8.67 Percentage of qualified open space: 10.6%

Type and calculations of qualified open space provided in acres (Per UDC 11-3G-3B): see plat notes

Amenities provided with this development (if applicable): Tot playground & Regional pathway

Type of dwelling(s) proposed:  Single-family Detached  Single-family Attached  Townhouse

Duplex  Multi-family  Vertically Integrated  Other \_\_\_\_\_

**Non-residential Project Summary (if applicable) N/A**

Number of building lots: \_\_\_\_\_ Common lots: \_\_\_\_\_ Other lots: \_\_\_\_\_

Gross floor area proposed: \_\_\_\_\_ Existing (if applicable): \_\_\_\_\_

Hours of operation (days and hours): \_\_\_\_\_ Building height: \_\_\_\_\_

Total number of parking spaces provided: \_\_\_\_\_ Number of compact spaces provided: \_\_\_\_\_

**Authorization**

Print applicant name: Kent Brown

Applicant signature: [Signature] Date: 2-3-16

# KENT BROWN PLANNING SERVICES

February 3, 2016

Planning and Zoning,  
City Council  
Meridian City Hall  
33 E. Broadway Ave  
Meridian, ID 83642

**RE: Annexation of Whiteacre Subdivision**

Dear Commissioners and Council Members:

Respectfully request the City of Meridian's approval to annex 40.88 acres into the City of Meridian. The site is surrounded by the City of Meridian, with existing water and sewer services available. The surrounding zoning is R-8 zoning on the west, north and east sides with R-4 zoning along the southerly property line.



The site consists of three separate parcels with the addresses of 4399, 4273 and 4015 North Meridian Road. We are proposing R-8 zoning which is compatible with Medium Density Residential designation in the Comprehensive Plan and is also compatible with the existing zoning surround the site.

We look forward to your approval of this application for annexation and zoning into the City of Meridian.

Sincerely,

Kent Brown  
Planner

# KENT BROWN PLANNING SERVICES

February 10, 2016

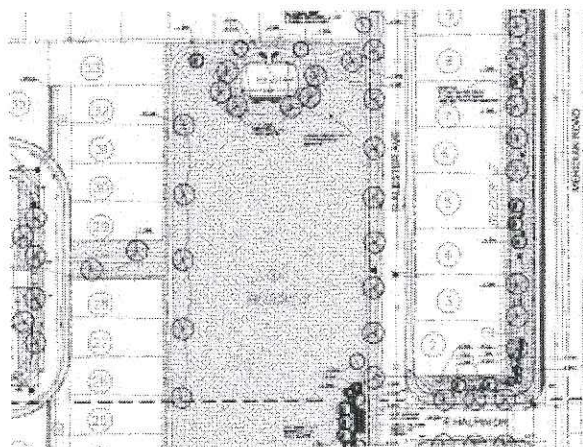
Planning and Zoning,  
City Council  
Meridian City Hall  
33 E. Broadway Ave  
Meridian, ID 83642

## RE: Preliminary Plat Application for Whiteacre Subdivision

Dear Commissioners and Council Members:

Providence Properties LLC, respectfully requests the City of Meridian's approval for a preliminary plat for Whiteacre Subdivision. Whiteacre Subdivision consists of 197 single family lots and 33 common lots. The site is currently divided into three separate parcels, with each of the parcels having a single family home on them. Two of the homes will be removed and the home at 4399 N. Meridian Road will remain. Providence Properties request that they can get an early start permit for two building permits due to the fact that entire site would be allowed these permits after the homes have been removed.

This infill development completes the street network on the westside of Meridian Road by connecting to all five existing stub streets into the neighborhood. We will have only one entrance on North Meridian Road, at a location preferred by ACHD staff. Our design team's efforts have been to design a residential neighborhood that fits with the existing neighboring subdivisions with lot sizes and



buffering. Also provide for a mixture of residential lot sizes and building types. We have both attached and detached homes, with some of lots being mews, alley loaded and duplex lots. One example of this design is the mews lots along the westside of the park site. These lots will face to the east onto park. This design element helps enhances the background when viewing the park site, as you will see the front yards and porches instead of back yards and fencing.

Design element of buffering can be shown along the southerly boundary line of the neighborhood where the White Drain, and the 10 foot wide regional pathway along the north side of the drain> This creates for a buffering of 40 feet on our side of the property. Then when combined with the open area from the Cedar Springs Subdivision No 1 who is located on the southside of the property we get a total of 80 feet of area between the back of residential lot to back of residential lot.

Utilities for the site will be supplied by; Water by Meridian City Water, Sewer by Meridian City Sewer, School District by Meridian, Fire by Meridian, and Irrigation by Settlers Irrigation District.

Amenities for Whiteacre Subdivision is tot playground area located in the 2.78 acres park. The 10 foot wide regional pathway. We thank you for your help; if you have any questions feel free to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read "Kent Brown". The signature is stylized with a large, prominent initial letter.

Kent Brown, Planner

**DESCRIPTION FOR  
WHITE ACRE ANNEXATION PARCEL**

A parcel of land located in the SE 1/4 of the NE 1/4 of Section 36, T.4N., R.1W., B.M., Meridian, Ada County, Idaho more particularly described as follows:

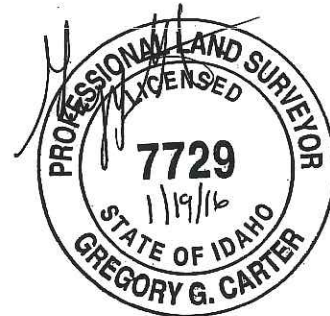
**BEGINNING** at the E1/4 corner of said Section 36, from which the Northeast corner of said Section 36 bears North 00°29'34" East, 2660.38 feet;

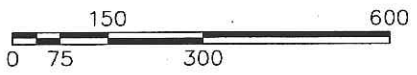
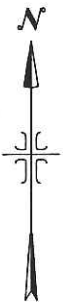
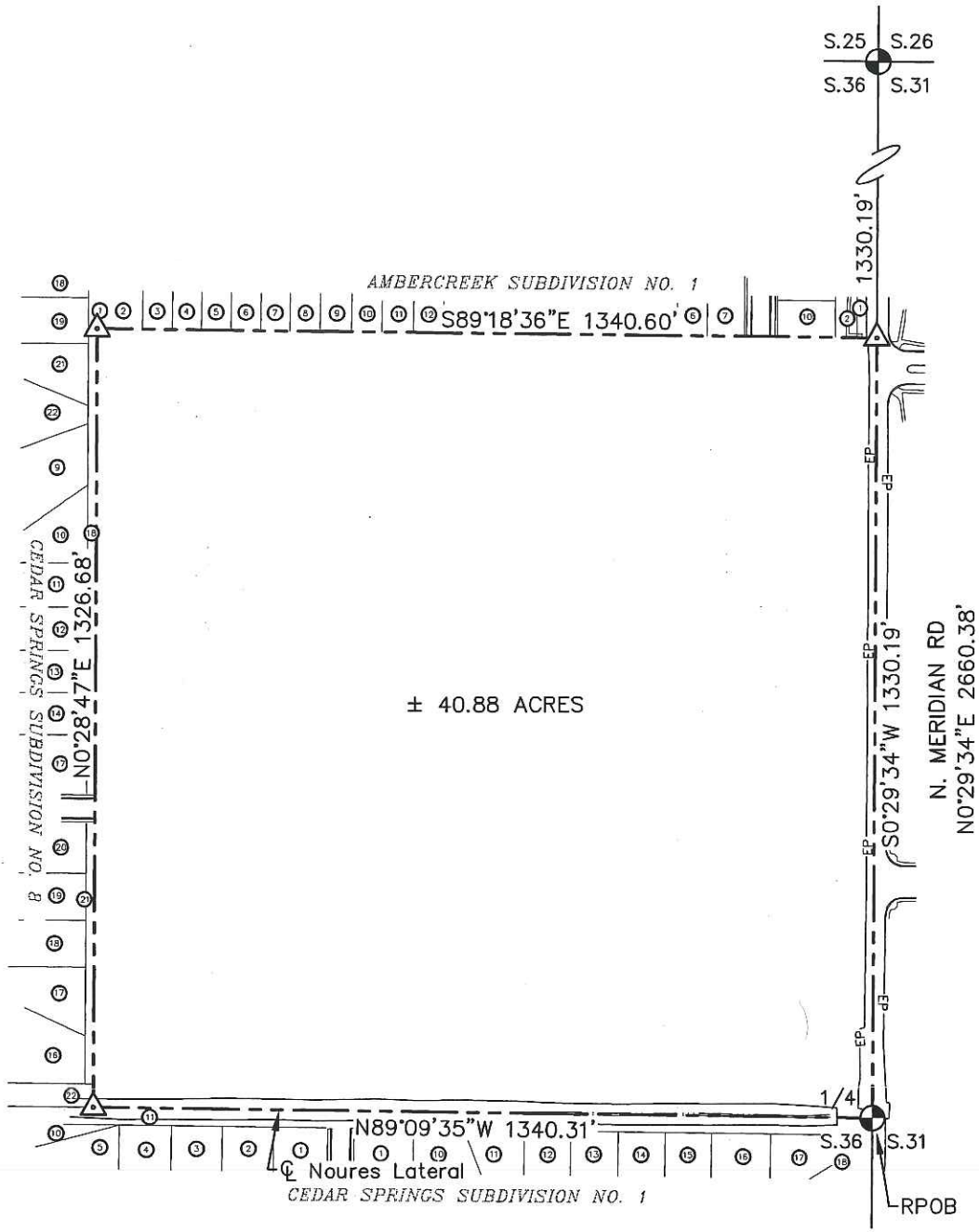
Thence along the North boundary line of Cedar Springs Subdivision No. 1 as filed in Book 85 of Plats at Pages 9,554 through 9,556, records of Ada County, Idaho, North 89°09'35" West, 1,340.31 feet to the SE corner of Cedar Springs Subdivision No. 8 as filed in Book 94 of Plats at Pages 11,417 through 11,419, records of Ada County, Idaho;

Thence along the East boundary line of said Cedar Springs Subdivision No. 8 North 00°28'47" East, 1326.68 feet to the SW corner of Ambercreek Subdivision No. 1 as filed in Book 97 of Plats at Pages 12,145 through 12,149, records of Ada County, Idaho;






Thence along the South boundary line of said Ambercreek Subdivision No. 1 South 89°18'36" East, 1340.60 feet to the SE corner of said Ambercreek Subdivision No. 1, said point being on the East boundary line of said Section 36;

Thence along said East boundary line South 00°29'34" West, 1,330.19 feet to the **POINT OF BEGINNING**. Containing 40.88 acres, more or less.





SCALE: 1" = 300'

-  BRASS CAP MONUMENT
-  CALCULATED POINT
-  PROPERTY BOUNDARY LINE
-  SECTION LINE
-  TOP OF BANK



S:\SG Projects\GEILE 40 ACRE BNDY TOPO 15-242\dwg\WHITEACRE EXHIBIT 3.dwg 1/19/2016 10:02:01 AM

**ISG** IDAHO SURVEY GROUP, P.C.

1450 E. WATERTOWER ST.  
SUITE 130  
MERIDIAN, IDAHO 83642  
(208) 846-8570

EXHIBIT DRAWING FOR  
**WHITE ACRE ANNEXATION PARCEL**

LOCATED IN THE SE 1/4 OF THE NE 1/4 OF SECTION 36, T.4N., R.1W., B.M.,  
MERIDIAN, ADA COUNTY COUNTY, IDAHO

JOB NO. 15-242
SHEET NO. 1
DWG. DATE 1/19/2016



IDAHO  
SURVEY  
GROUP

1450 East Watertower St.  
Suite 130  
Meridian, Idaho 83642

**Phone** (208) 846-8570  
**Fax** (208) 884-5399

January 27, 2016

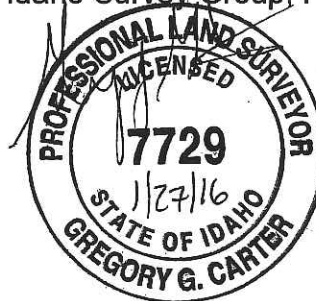
**CLOSURE SHEET FOR  
WHITE ACRES SUBDIVISION  
ANNEXATION DESCRIPTION**

Course: North 89°09'35" West	Distance: 1,340.31'
Course: North 00°28'47" East	Distance: 1,326.68'
Course: South 89°18'36" East	Distance: 1,340.60'
Course: South 00°29'34" East	Distance: 1,330.19'

Perimeter: 5,337.78'

Area: 1,780,679 s.f.                      40.88 acres  
Mathematical Closure - (Uses Survey Units)  
Error of Closure: 0.0062              Course: North 45°53'22" East  
Precision 1: 860,932

Prepared by:  
Idaho Survey Group, P.C.



Gregory G. Carter, P.L.S.

# WARRANTY DEED

FOR VALUE RECEIVED **FAY M. WHITE and WANDA K. WHITE, husband and wife,**

GRANTOR(s), does(do) hereby GRANT, BARGAIN, SELL and CONVEY unto  
**RANDALL T. GEILE and PAMELA N. GEILE, husband and wife,**

GRANTEE(S), whose current address is:  
the following described real property in \_\_\_\_\_ County, State of Idaho,  
more particularly described as follows, to wit:

The North 250 feet of the SE $\frac{1}{4}$  NE $\frac{1}{4}$  of Section 36,  
Township 4 North, Range 1 West, Boise Meridian  
Ada County, Idaho.

Together with all water rights appurtenant thereto.  
9213556

ADA COUNTY, ID. FOR GEILE  
J. DAVID NAVARRO  
RECORDER BY [Signature]  
300

'92 MAR 6 AM 11 39

TO HAVE AND TO HOLD the said premises, with their appurtenances unto the said Grantee(s), and Grantee(s) heirs and assigns forever. And the said Grantor(s) does(do) hereby covenant to and with the said Grantee(s), that Grantor(s) is/are the owner(s) in fee simple of said premises; that said premises are free from all encumbrances, EXCEPT those to which this conveyance is expressly made subject and those made, suffered or done by the Grantee(s); and subject to reservations, restrictions, dedications, easements, right of way and agreements, (if any) of record, and general taxes and assessments, (includes irrigation and utility assessments, if any) for the current year, which are not yet due and payable, and that Grantor(s) will warrant and defend the same from all lawful claims whatsoever.

Dated: March 5, 1992

[Signature]  
FAY M. WHITE

[Signature]  
WANDA K. WHITE

ACKNOWLEDGEMENT - Individual

STATE OF Idaho, County of Ada, ss.

On this 5<sup>th</sup> day of March, in the year of 1992, before me

\_\_\_\_\_ a notary public, personally appeared FAY M. WHITE and WANDA K. WHITE, husband and wife, known or identified to me to be the persons whose names are subscribed to the within instrument, and acknowledged to me that it is he or she who executed the same.

Notary Public [Signature]  
Residing at [Address]  
EXPIRATION DATE 2/24/94

STATE OF IDAHO, COUNTY OF

I hereby certify that this instrument was filed for record at the request of

at \_\_\_\_\_ minutes past \_\_\_\_\_ o'clock m., this \_\_\_\_\_ day of \_\_\_\_\_ 19\_\_\_\_, in my office, and duly recorded in Book \_\_\_\_\_ of Deeds at page \_\_\_\_\_

Ex-Officio Recorder

By \_\_\_\_\_ Deputy.

Fees \$  
Mail to:



# EXHIBIT "B"

Project No. 15-256

January 7, 2016

## DESCRIPTION FOR GEILE 2 ACRE PARCEL

A parcel of land located in the SE 1/4 of the NE 1/4 of Section 36, T.4N., R.1W., B.M., Meridian, Ada County, Idaho more particularly described as follows:

Commencing at the NE corner of said Section 36, from which the E1/4 corner of said Section 36 bears thence South  $00^{\circ}29'34''$  West, 2660.38 feet;

thence along the East boundary line of said Section 36 South  $00^{\circ}29'34''$  West, 1,330.19 feet to the SE corner of Ambercreek Subdivision No. 1 as filed in Book 97 of Plats at Pages 12,145 through 12,149, records of Ada County, Idaho;

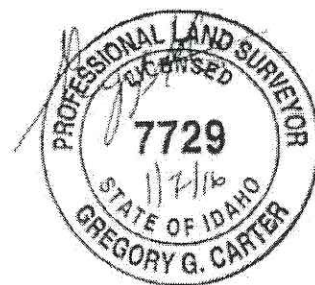
thence along the South boundary line of said Ambercreek Subdivision No. 1 North  $89^{\circ}18'36''$  West, 991.49 feet the **REAL POINT OF BEGINNING**;

thence leaving said South boundary line South  $00^{\circ}41'24''$  West, 250.00 feet;

thence North  $89^{\circ}18'36''$  West, 348.19 feet to a point on the East boundary line of Cedar Springs Subdivision No. 8 as filed in Book 94 of Plats at Pages 11,417 through 11,419, records of Ada County, Idaho;

thence along said East boundary line North  $00^{\circ}28'47''$  East, 250.00 feet to the SW corner of said Ambercreek Subdivision No. 1;

thence along the South boundary line of said Ambercreek Subdivision No. 1 South  $89^{\circ}18'36''$  East, 349.11 feet to the **REAL POINT OF BEGINNING**. Containing 2.00 acres, more or less.





8151 W. Rifleman Street  
Boise, ID 83704

ELECTRONICALLY RECORDED-DO NOT  
REMOVE THE COUNTY STAMPED FIRST  
PAGE AS IT IS NOW INCORPORATED AS  
PART OF THE ORIGINAL DOCUMENT

File No. 582619 SRM/GL

ADA COUNTY RECORDER Christopher D. Rich  
BOISE IDAHO Pgs=3 LISA BATT  
PIONEER TITLE COMPANY OF ADA COUNTY

2016-010339  
02/05/2016 03:21 PM  
\$16.00

### WARRANTY DEED

For Value Received

Thirteen Hectare, LLC, an Idaho limited liability company  
hereinafter referred to as Grantor, does hereby grant, bargain, sell, warrant and convey unto  
Whiteacre Development Corporation

hereinafter referred to as Grantee, whose current address is 701 S. Allen Street #104, Meridian Id 83642

The following described premises, to-wit:

See Exhibit A attached hereto and made a part hereof.

To HAVE AND TO HOLD the said premises, with their appurtenances unto the said Grantee(s), and Grantees(s) heirs and assigns forever. And the said Grantor(s) does (do) hereby covenant to and with the said Grantee(s), the Grantor(s) is/are the owner(s) in fee simple of said premises; that said premises are free from all encumbrances EXCEPT those to which this conveyance is expressly made subject and those made, suffered or done by the Grantee(s); and subject to U.S. Patent reservations, restrictions, dedications, easements, rights of way and agreements, (if any) of record, and current years taxes, levies, and assessments, includes irrigation and utility assessments, (if any) which are not yet due and payable, and that Grantor(s) will warrant and defend the same from all lawful claims whatsoever.

Dated: February 3, 2016

Thirteen Hectare, LLC  
By: Lionwood Properties, LLC and  
DSCSB Two, LLC Its Managers

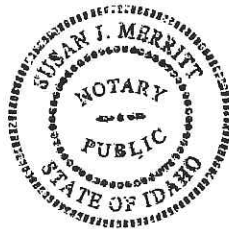
James W. Smith, Manager  
Lionwood Properties, LLC

Don Brandt, Manager  
DSCSB Two, LLC

State of Idaho, County of Ada

On this 4th day of February in the year of 2016, before me, the undersigned, a Notary Public in and for said State, personally appeared James W. Smith as Manager of Lionwood Properties, LLC and Don Brandt as Manager of DSCSB Two, LLC, which LLCs are known or identified to me to be the Managers of the Limited Liability Company that executed the foregoing instrument, and acknowledged to me that such Limited Liability Company executed the same.

Susan J. Merritt  
Residing at: Caldwell Id  
Commission Expires: 5-5-2017



**DESCRIPTION FOR  
DEVELOPMENT CORP. PARCEL**

A parcel of land located in the SE 1/4 of the NE 1/4 of Section 36, T.4N., R.1W., B.M., Meridian, Ada County, Idaho more particularly described as follows:

**BEGINNING** at the E1/4 corner of said Section 36, from which the Northeast corner of said Section 36 bears North 00°29'34" East, 2660.38 feet;

Thence along the North boundary line of Cedar Springs Subdivision No. 1 as filed in Book 85 of Plats at Pages 9,554 through 9,556, records of Ada County, Idaho, North 89°09'35" West, 584.66 feet;

Thence leaving said North boundary line North 00°50'25" East, 144.00 feet;

Thence North 09°38'23" West, 50.85 feet;

Thence North 00°50'25" East, 104.79 feet;

Thence South 89°18'36" East, 150.57 feet;

Thence North 00°41'24" East, 153.58 feet;

Thence South 89°18'36" East, 441.00 feet to a point on the East boundary line of said Section 36;

Thence along said East boundary line South 00°29'34" West, 453.93 feet to the **POINT OF BEGINNING**. Containing 5.60 acres, more or less.





8151 W. Rifleman Street  
Boise, ID 83704

ELECTRONICALLY RECORDED-DO NOT REMOVE THE COUNTY STAMPED FIRST PAGE AS IT IS NOW INCORPORATED AS PART OF THE ORIGINAL DOCUMENT

ADA COUNTY RECORDER Christopher D. Rich  
BOISE IDAHO Pgs=2 LISA BATT  
PIONEER TITLE COMPANY OF ADA COUNTY  
2016-010338  
02/05/2016 03:21 PM  
\$13.00

File No. 582619 SRM/GL

**WARRANTY DEED**

For Value Received

Pamela Niemann Geile, as her separate property and Paula Niemann Riggs, as her separate property hereinafter referred to as Grantor, does hereby grant, bargain, sell, warrant and convey unto

Thirteen Hectare, LLC , an Idaho limited liability company

hereinafter referred to as Grantee, whose current address is 203 11th Ave South Nampa, ID 83651

The following described premises, to-wit:

See Exhibit A attached hereto and made a part hereof.

**Saving, excepting and excluding Idaho Department of Water Resources Water Right Permit No. 63-33844, ownership which shall be retained by the Grantor.**

To HAVE AND TO HOLD the said premises, with their appurtenances unto the said Grantee(s), and Grantees(s) heirs and assigns forever. And the said Grantor(s) does (do) hereby covenant to and with the said Grantee(s), the Grantor(s) is/are the owner(s) in fee simple of said premises; that said premises are free from all encumbrances EXCEPT those to which this conveyance is expressly made subject and those made, suffered or done by the Grantee(s); and subject to U.S. Patent reservations, restrictions, dedications, easements, rights of way and agreements, (if any) of record, and current years taxes, levies, and assessments, includes irrigation and utility assessments, (if any) which are not yet due and payable, and that Grantor(s) will warrant and defend the same from all lawful claims whatsoever.

Dated: January 21, 2016

*Pamela Niemann Geile*  
Pamela Niemann Geile  
*Paula Niemann Riggs*  
Paula Niemann Riggs

State of ID County of AAA

On this 5<sup>th</sup> day of Feb in the year of 2016, before me, the undersigned, a Notary Public in and for said State, personally appeared Pamela Niemann Geile and Paula Niemann Riggs known or identified to me to be the person/persons whose name(s) is/are subscribed to the within instrument, and acknowledged to me that he/she/they executed the same.

*Susan J. Merritt*  
Residing at: \_\_\_\_\_  
Commission Expires: \_\_\_\_\_

Residing at Caldwell, ID  
My Commission Expires: 05-05-2017

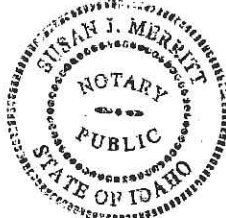


EXHIBIT A

Parcel S0436141950:

The Southeast Quarter of the Northeast Quarter of Section 36, Township 4 North, Range 1 West, Boise Meridian,  
Ada County, Idaho.

Excepting therefrom the Northerly 250 feet;

Also Excepting therefrom the Southerly 285 feet.

Parcel S0436142200:

The Southerly 285 feet of the Southeast Quarter of the Northeast Quarter of Section 36, Township 4 North, Range 1  
West, Boise Meridian, Ada County, Idaho.



8151 W. Rifeinan Street  
Boise, ID 83704

ELECTRONICALLY RECORDED-DO NOT  
REMOVE THE COUNTY STAMPED FIRST  
PAGE AS IT IS NOW INCORPORATED AS  
PART OF THE ORIGINAL DOCUMENT

File No. 582623 SRM/GL

ADA COUNTY RECORDER Christopher D. Rich  
BOISE IDAHO Pgs=2 VICTORIA BAILEY  
PIONEER TITLE COMPANY OF ADA COUNTY  
2016-010330  
02/05/2016 03:18 PM  
\$13.00

**WARRANTY DEED**

For Value Received

Randall T. Geile and Pamela N. Geile, husband and wife  
hereinafter referred to as Grantor, does hereby grant, bargain, sell, warrant and convey unto

Thirteen Hectare, LLC, an Idaho limited liability company

hereinafter referred to as Grantee, whose current address is 203 11th St South Nampa, ID 83651

The following described premises, to-wit:

See Exhibit A attached hereto and made a part hereof.

To HAVE AND TO HOLD the said premises, with their appurtenances unto the said Grantee(s), and Grantees(s) heirs and assigns forever. And the said Grantor(s) does (do) hereby covenant to and with the said Grantee(s), the Grantor(s) is/are the owner(s) in fee simple of said premises; that said premises are free from all encumbrances EXCEPT those to which this conveyance is expressly made subject and those made, suffered or done by the Grantee(s); and subject to U.S. Patent reservations, restrictions, dedications, easements, rights of way and agreements, (if any) of record, and current years taxes, levies, and assessments, includes irrigation and utility assessments, (if any) which are not yet due and payable, and that Grantor(s) will warrant and defend the same from all lawful claims whatsoever.

Dated: January 20, 2016

\_\_\_\_\_  
Randall T. Geile

\_\_\_\_\_  
Pamela N. Geile

State of Idaho, County of Ada

On this 5<sup>th</sup> day of February in the year of 2016, before me, the undersigned, a Notary Public in and for said State, personally appeared Randall T. Geile and Pamela N. Geile known or identified to me to be the person/persons whose name(s) is/are subscribed to the within instrument, and acknowledged to me that he/she/they executed the same.

\_\_\_\_\_  
Susan J. Merritt  
Residing at: Caldwell Id  
Commission Expires: 5-5-2017



EXHIBIT A

Thirteen Hectare, LLC Purchase Parcel

A parcel of land located in the SE 1/4 of the NE 1/4 of Section 36, T.4N., R.1W., B.M., Meridian, Ada County, Idaho more particularly described as follows:

Commencing at the NE corner of said Section 36, from which the E1/4 corner of said Section 36 bears thence South  $00^{\circ}29'34''$  West, 2660.38 feet;

thence along the East boundary line of said Section 36 South  $00^{\circ}29'34''$  West, 1,330.19 feet to the Northeast corner of said SE 1/4 NE 1/4, said point also being the SE corner of Ambercreek Subdivision No. 1 as filed in Book 97 of Plats at Pages 12,145 through 12,149, records of Ada County, Idaho, said point being the REAL POINT OF BEGINNING,

thence continuing along the said East boundary line South  $00^{\circ}29'34''$  West, 250.00 feet;

thence leaving said East boundary line North  $89^{\circ}18'36''$  West, 992.35 feet;

thence North  $00^{\circ}41'24''$  East, 250.00 feet to a point on the North line of said SE 1/4 NE 1/4, said line also being the South boundary line of said Ambercreek Subdivision No. 1;

thence along said boundary line South  $89^{\circ}18'36''$  East, 991.49 feet to the REAL POINT OF BEGINNING.

**AFFIDAVIT OF LEGAL INTEREST**

STATE OF IDAHO )  
 )  
COUNTY OF ADA )

I, WhiteCare Development Corp., 701 S. Allen St, Ste 108  
(name) (address)  
Meridian, IDAHO  
(city) (state)

being first duly sworn upon, oath, depose and say:

- 1. That I am the record owner of the property described on the attached, and I grant my permission to:

Providence Properties, LLC, 701 S. Allen St, Ste 108, Meridian, ID 83642  
(name) (address)

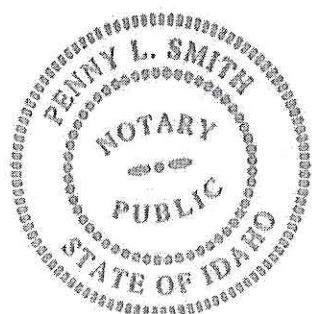
to submit the accompanying application(s) pertaining to that property.

- 2. I agree to indemnify, defend and hold the City of Meridian and its employees harmless from any claim or liability resulting from any dispute as to the statements contained herein or as to the ownership of the property which is the subject of the application.
- 3. I hereby grant permission to City of Meridian staff to enter the subject property for the purpose of site inspections related to processing said application(s).

Dated this 3<sup>rd</sup> day of February, 2016

[Signature]  
(Signature) President

SUBSCRIBED AND SWORN to before me the day and year first above written.



[Signature]  
(Notary Public for Idaho)

Residing at: Boise

My Commission Expires: 2-16-2019

**AFFIDAVIT OF LEGAL INTEREST**

STATE OF IDAHO )  
 )  
COUNTY OF ADA )

I, Thirteen Hectare, LLC, 203 11<sup>th</sup> Ave So  
(name) (address)  
Nampa, Idaho  
(city) (state)

being first duly sworn upon, oath, depose and say:

- 1. That I am the record owner of the property described on the attached, and I grant my permission to:

Providence Properties, LLC, 701 S. Allen St. Ste 108, Meridian, ID 83642  
(name) (address)

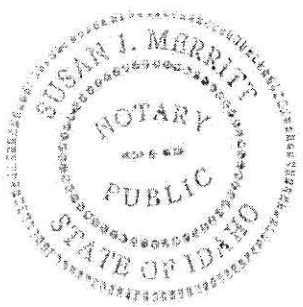
to submit the accompanying application(s) pertaining to that property.

- 2. I agree to indemnify, defend and hold the City of Meridian and its employees harmless from any claim or liability resulting from any dispute as to the statements contained herein or as to the ownership of the property which is the subject of the application.
- 3. I hereby grant permission to City of Meridian staff to enter the subject property for the purpose of site inspections related to processing said application(s).

Dated this 4<sup>th</sup> day of February, 2016

Don Brant James W. Smith  
(Signature)

SUBSCRIBED AND SWORN to before me the day and year first above written.



Susan Merritt  
(Notary Public for Idaho)

Residing at: \_\_\_\_\_

My Commission Expires: \_\_\_\_\_  
Residing at Caldwell, ID  
My Commission Expires: 05-05-2017

AFFIDAVIT OF LEGAL INTEREST

STATE OF IDAHO )

COUNTY OF ADA )

Randall T Geile
1. Pamela N Geile
Meridian Idaho
4399 N Meridian Rd
Idaho
Meridian Idaho

being first duly sworn upon, oath, depose and say:

1. That I am the record owner of the property described on the attached, and I grant my permission to:

Providence Property LLC
701 S. Allen St. Ste 108, Meridian, ID 83642

to submit the accompanying application(s) pertaining to that property.

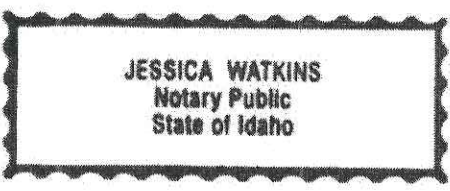
2. I agree to indemnify, defend and hold the City of Meridian and its employees harmless from any claim or liability resulting from any dispute as to the statements contained herein or as to the ownership of the property which is the subject of the application.

3. I hereby grant permission to City of Meridian staff to enter the subject property for the purpose of site inspections related to processing said application(s).

Dated this 13 day of January, 2016

[Signature]
Pamela N Geile
(Signature)

SUBSCRIBED AND SWORN to before me the day and year first above written.

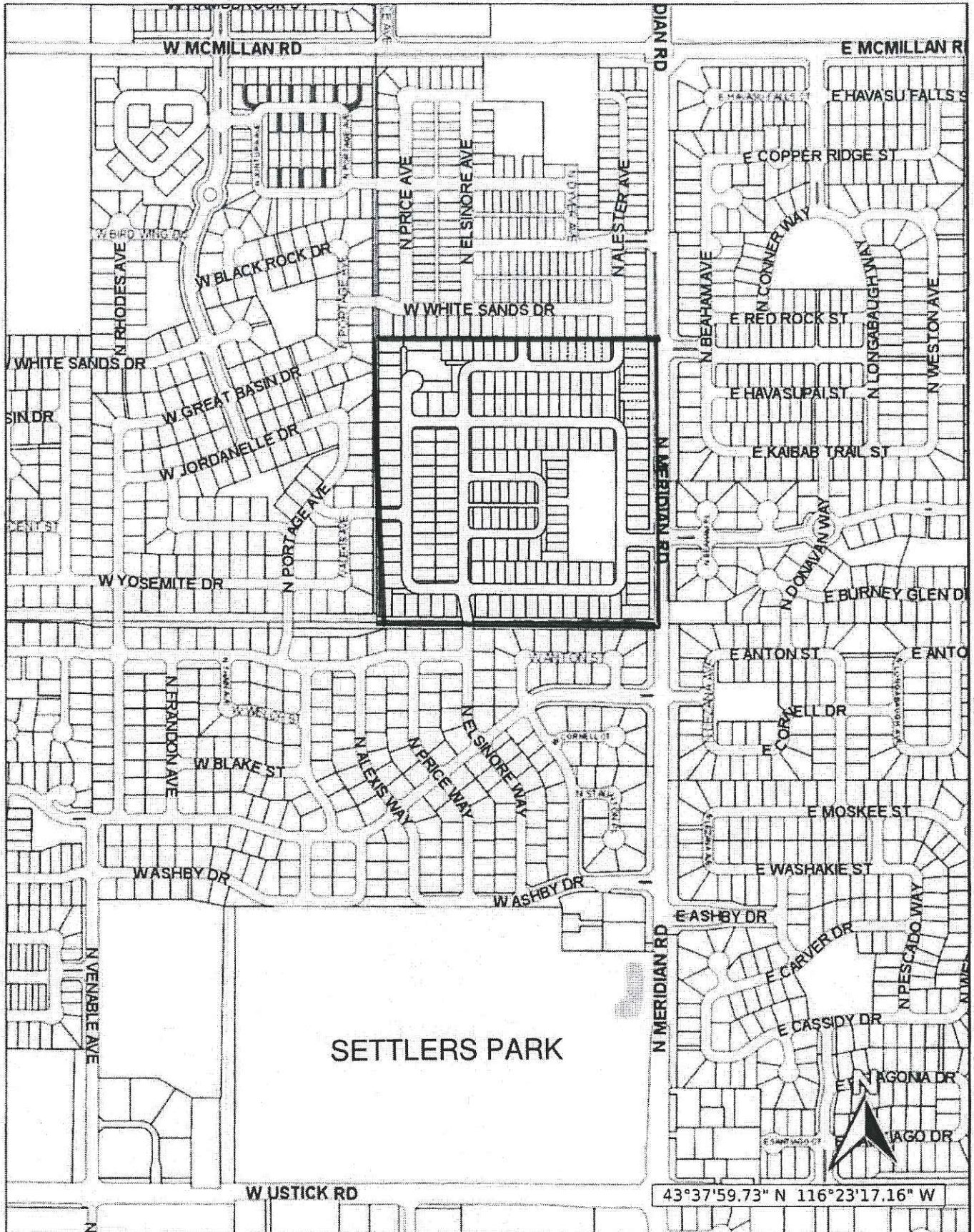


Jessica Watkins
(Notary Public for Idaho)

Residing at: Meridian, ID

My Commission Expires: June 27, 2020

# WHITE ACRE SUBDIVISION



## CITY OF MERIDIAN PRE-APPLICATION MEETING NOTES

Project/Subdivision Name: Geile Sub. Date: 12/11/15  
 Applicant(s)/Contact(s): Kent Brown  
 City Staff: Bill, Josh, Bruce  
 Location: 4015, 4273, 4399 Meridian Road Size of Property: 40 acres  
 Comprehensive Plan FLUM Designation: \_\_\_\_\_  
 Design Guidelines Development Context:  Urban  Urban/Suburban  Suburban  Rural  
 Existing Use: Agricultural/residential Existing Zoning: RUT  
 Proposed Use: Single family residential Proposed Zoning: R-\*  
 Surrounding Uses: Single family residential  
 Street Buffer(s) and/or Land Use Buffer(s): 25 foot landscape buffer along Meridian Road  
 Open Space/Amenities/Pathways: \_\_\_\_\_  
 Access/Stub Streets/Street System: N. Ambercreek Ave, W. Fallen Leaf Dr., N. Alester Ave., N. Elsinore Way  
 Sewer & Water Service: \_\_\_\_\_  
 Waterways/ Floodplain/Topography/Hazards: \_\_\_\_\_  
 History: N/A

Additional Meeting Notes: A 25 foot landscape buffer will be required along the entire frontage of Meridian road, including in front of the home that is proposed to remain.

The entire 25 foot buffer and sidewalk along Meridian Road will be required to be constructed with the first phase of development.

The home that is proposed to remain on the southern property will be required to abandon its vehicle access to Meridian Road, and instead take access from an interior street.

The homes that are proposed to remain will need to be readdressed.

*Note: A Traffic Impact Study (TIS) will be required by ACHD for large commercial projects and any residential development with over 100 units. To avoid unnecessary delays & expedite the hearing process, applicants are encouraged to submit the TIS to ACHD prior to submitting their application to the City. Not having ACHD comments and/or conditions on large projects may delay hearing(s) at the City. Please contact Mindy Wallace at 387-6178 or Christy Little at 387-6144 at ACHD for information in regard to a TIS, conditions, impact fees and process.*

**Other Agencies/Departments to Contact:**

- |   |   |  |
|---|---|--|
| <input checked="" type="checkbox"/> Ada County Highway Dist. (ACHD) | <input type="checkbox"/> Nampa Meridian Irrigation Dist. (NMID) | <input type="checkbox"/> Public Works Department |
| <input type="checkbox"/> Idaho Transportation Dept. (ITD)           | <input type="checkbox"/> Settler's Irrigation District          | <input type="checkbox"/> Building Department     |
| <input type="checkbox"/> Republic Services                          | <input type="checkbox"/> Police Department                      | <input type="checkbox"/> Parks Department        |
| <input type="checkbox"/> Central District Health Department         | <input type="checkbox"/> Fire Department                        | <input type="checkbox"/> Other: _____            |

**Application(s) Required:**

- |  |   |   |
|--|---|---|
| <input type="checkbox"/> Administrative Design Review        | <input type="checkbox"/> Conditional Use Permit Modification/Transfer | <input type="checkbox"/> Rezone                   |
| <input type="checkbox"/> Alternative Compliance              | <input type="checkbox"/> Development Agreement Modification           | <input type="checkbox"/> Short Plat               |
| <input type="checkbox"/> Annexation                          | <input type="checkbox"/> Final Plat                                   | <input type="checkbox"/> Time Extension – Council |
| <input type="checkbox"/> City Council Review                 | <input type="checkbox"/> Final Plat Modification                      | <input type="checkbox"/> UDC Text Amendment       |
| <input type="checkbox"/> Comprehensive Plan Amendment – Map  | <input type="checkbox"/> Planned Unit Development                     | <input type="checkbox"/> Vacation                 |
| <input type="checkbox"/> Comprehensive Plan Amendment – Text | <input type="checkbox"/> Preliminary Plat                             | <input type="checkbox"/> Variance                 |
| <input type="checkbox"/> Conditional Use Permit              | <input type="checkbox"/> Private Street                               | <input type="checkbox"/> Other                    |

**Notes:** 1) Applicants are required to hold a neighborhood meeting in accord with UDC 11-5A-5C prior to submittal of an application requiring a public hearing (except for a vacation or short plat); and 2) All applicants for permits requiring a public hearing shall post the site with a public hearing notice in accord with UDC 11-5A-5D.3 (except for UDC text amendments, Comp Plan text amendments, and vacations). The information provided during



Community Development Department

Development Services Division
Meridian City Hall, Suite 102
33 E. Broadway Avenue
Meridian, Idaho 83642
(208)887-2211

PRE-APPLICATION MEETING NOTES

Date 12-11-15

Project/Subdivision Name: Geile
Applicant(s)/Contact(s): Kent Brown, Mitch Armoth, Rich Tomlinson, Randall Geile
Development Services Staff: Bruce Freckleton

Sanitary Sewer Service: Sanitary sewer service currently exists at all existing stub streets into the subject site, as well as on N. Meridian Rd.

Mapping Provided: Y N

Domestic Water Service: Same as above for sewer

Mapping Provided: Y N

Reuse Water Service: NA

Mapping Provided: Y N

Waterways/ Floodplain/Topography/Hazards: Not aware of any issues

Mapping Provided: Y N

Gravity/Pressurized Irrigation:

District

Street Lighting: Please contact Austin Peterson in the Public Works Dept. for information regarding Street Lighting Reqs. Provided: Y N

The City of Meridian's Improvement Standards for Street Lighting can be found online at: http://www.meridiancity.org/public\_works.aspx?id=272

Additional Meeting Notes: Existing homes will be required to connect to the sewer and water at the time platting occurs that parcel them out.

Whiteacre Subdivision  
NEIGHBORHOOD MEETING FORM

January 5th 2016

Start Time of Neighborhood Meeting: 6<sup>30</sup> pm

End Time of Neighborhood Meeting: 7.40

Those in attendance please print your name and address. If no one attended, Applicant please write across this form "No one attended."

<u>PRINTED NAME</u>	<u>ADDRESS, CITY, STATE, ZIP</u>
1. <u>GEORGE BOIRD</u>	<u>442 W FALLEN LEAF DR</u>
2. <u>Kathy Baird</u>	<u>" "</u>
3. <u>Kent Brown</u>	<u>3161 Springwood Dr</u>
4. <u>J.D. Heithoff</u>	<u>4246 N. Portage Ave</u>
5. <u>Shane Fry</u>	<u>430W Jordanelle DR 83646</u>
6. <u>John Fry</u>	<u>" "</u>
7. <u>Randy, Pam Geike</u>	<u>4399 N Meridian</u>
8. <u>Thor Godtlibsen</u>	<u>4376 N Portage</u>
9. <u>Kelly Fueman</u>	<u>176 W. Anton St.</u>
10. <u>Sam Marinini</u>	<u>1028 E. Cayman Dr.</u>
11. <u>Karen Duff</u>	<u>4464 N. Portage Ave.</u>
12. <u>Kyle Radek</u>	<u>4290 N Portage Ave</u>
13.	
14.	
15.	
16.	
17.	
18.	
19.	

**December 23, 2015**

**RE: Notice of Neighborhood Meeting for Whiteacre Subdivision**

Dear Resident:

Meridian City Code requires a meeting between the applicants of proposed applications to the city and land owners within 300 feet of the proposed property this letter is notice of a meeting to review and discuss the details of the annexation and single family subdivision at 4399 & 4273 & 4015 Meridian Road. . The applications to the city will be an annexation and preliminary plat. This is not a public hearing; public officials will not be present. If you have any questions regarding this Meridian City Code regard neighborhood meeting requirements, please contact the Development Services at (208) 884-5533. If you have question regarding the application, please contact me Kent Brown.

**Purpose:** To review proposed Annexation and Preliminary plat of 39.7 acres at 4399 & 4273 & 4015 N Meridian Rd.

**When:** Tuesday, January 5th, 2015 starting 6:30 pm

**Where:** At Meridian City Hall conference room At 33 E Broadway Ave.

**Description:** Annexation of 39.7 acres and Single Family Subdivision Preliminary plat

If you have any questions about the meeting or proposed development project, please contact:

Kent Brown  
(208) 871-6842

Sincerely,



Kent Brown  
Project Planner

---



OWNER  
4098 N BEAHAM PL  
MERIDIAN, ID 83646-0000

AMERICAN HOMES 4 RENT PROPERTIES  
NINE LLC  
30601 AGOURA RD STE 200  
AGOURA HILLS CA 91301

OWNER  
4234 N PORTAGE AVE  
MERIDIAN, ID 83646-0000

OWNER  
4430 N PORTAGE AVE  
MERIDIAN, ID 83646-0000

OWNER  
211 W WHITE SANDS DR  
MERIDIAN, ID 83646-0000

OWNER  
4432 N ALESTER AVE  
MERIDIAN, ID 83646-0000

OWNER  
380 LEEWARD CT  
OCEANSIDE, CA 92054-4645

OWNER  
170 W WHITE SANDS DR  
MERIDIAN, ID 83646-0000

OWNER  
3977 N BARRON WAY  
MERIDIAN, ID 83646-0000

CEDAR SPRINGS NORTH  
NEIGHBORHOOD ASSOC INC  
PO BOX 1090  
MERIDIAN, ID 83680-0000

OWNER  
104 E KAIBAB TRAIL ST  
MERIDIAN, ID 83646-0000

OWNER  
3946 N ELSINORE WAY  
MERIDIAN, ID 83646-0000

OWNER  
442 W FALLEN LEAF DR  
MERIDIAN, ID 83646-0000

OWNER  
PO BOX 109  
MCCALL, ID 83638-0000

OWNER  
4401 N BEAHAM AVE  
MERIDIAN, ID 83646-0000

OWNER  
97 W LAVA FALLS DR  
MERIDIAN, ID 83646-0000

OWNER  
4225 N PORTAGE AVE  
MERIDIAN, ID 83646-0000

OWNER  
2174 E REDWICK DR  
MERIDIAN, ID 83646-0000

OWNER  
101 E RED ROCK ST  
MERIDIAN, ID 83646-0000

OWNER  
458 W JORDANELLE DR  
MERIDIAN, ID 83646-0000

AMBERCREEK HOA INC  
6223 N DISCOVERY WAY  
BOISE, ID 83713-0000

OWNER  
101 W ANTON ST  
MERIDIAN, ID 83646-0000

OWNER  
2495 N Tricia Way  
MERIDIAN, ID 83646-0000

OWNER  
4115 N ALEXIS AVE  
MERIDIAN, ID 83646-0000

OWNER  
163 W LAVA FALLS DR  
MERIDIAN, ID 83646-0000

OWNER  
611 W TWO RIVERS DR  
EAGLE, ID 83616-0000

BURNEY GLEN NEIGHBORHOOD  
ASSOCIATION INC  
9601 W STATE ST #203  
BOISE, ID 83703-0000

OWNER  
1219 N 13TH ST  
BOISE, ID 83702-0000

CEDAR SPRINGS NEIGHBORHOOD  
ASSOCIATION INC  
PO BOX 1090  
MERIDIAN, ID 83680-0000

OWNER  
87 W WHITE SANDS DR  
MERIDIAN, ID 83646-0000

OWNER  
117 W WHITE SANDS DR  
MERIDIAN, ID 83646-0000

OWNER  
3970 N ELSINORE WAY  
MERIDIAN, ID 83646-0000

OWNER  
4418 N PRICE AVE  
MERIDIAN, ID 83646-0000

OWNER  
4863 BRONZE SPUR DR  
NAMPA, ID 83687

OWNER  
3901 N PRICE WAY  
MERIDIAN, ID 83646-0000

OWNER  
4464 N PORTAGE AVE  
MERIDIAN, ID 83646-0000

OWNER  
4212 N PORTAGE AVE  
MERIDIAN, ID 83646-0000

OWNER  
4164 N BEAHAM PL  
MERIDIAN, ID 83646-0000

OWNER  
3920 N ELSINORE WAY  
MERIDIAN, ID 83646-0000

OWNER  
4473 N BEAHAM AVE  
MERIDIAN, ID 83646-0000

OWNER  
124 W ANTON ST  
MERIDIAN, ID 83646-0000

OWNER  
139 W LAVA FALLS DR  
MERIDIAN, ID 83646-0000

OWNER  
4075 N BEAHAM PL  
MERIDIAN, ID 83646-0000

OWNER  
266 W WHITE SANDS DR  
MERIDIAN, ID 83646-0000

OWNER  
3922 N ALESTER AVE  
MERIDIAN, ID 83646-0000

OWNER  
4466 N PRICE AVE  
MERIDIAN, ID 83646-0000

OWNER  
4099 N BEAHAM PL  
MERIDIAN, ID 83646-0000

OWNER  
176 W ANTON ST  
MERIDIAN, ID 83646-0000

OWNER  
373 W WHITE SANDS DR  
MERIDIAN, ID 83646-0000

GEILE PAMELA NIEMANN  
4399 N MERIDIAN RD  
MERIDIAN, ID 83646-0000

OWNER  
4054 N BEAHAM PL  
MERIDIAN, ID 83646-0000

OWNER  
4173 N BEAHAM PL  
MERIDIAN, ID 83646-0000

OWNER  
PO BOX 1286  
MERIDIAN, ID 83680-0000

OWNER  
96 W WHITE SANDS DR  
MERIDIAN, ID 83646-0000

OWNER  
115 W LAVA FALLS DR  
MERIDIAN, ID 83646-0000

OWNER  
4076 N BEAHAM PL  
MERIDIAN, ID 83646-0000

OWNER  
5148 S SEMINOE CIR  
BOISE, ID 83709-0000

OWNER  
430 W JORDANELLE DR  
MERIDIAN, ID 83646-0000

OWNER  
250 W WHITE SANDS DR  
MERIDIAN, ID 83646-0000

GEILE PAMELA NIEMANN  
4399 N MERIDIAN RD  
MERIDIAN, ID 83646-0000

GEILE RANDALL T  
4399 N MERIDIAN RD  
MERIDIAN, ID 83646-0000

OWNER  
4142 N BEAHAM PL  
MERIDIAN, ID 83646-0000

OWNER  
4450 N PRICE AVE  
MERIDIAN, ID 83646-0000

OWNER  
4331 N BEAHAM AVE  
MERIDIAN, ID 83646-0000

OWNER  
4446 N ALESTER AVE  
MERIDIAN, ID 83646-0000

OWNER  
4246 N PORTAGE AVE  
MERIDIAN, ID 83646-0000

OWNER  
452 W GREAT BASIN DR  
MERIDIAN, ID 83646-0000

OWNER  
4124 N ALEXIS AVE  
MERIDIAN, ID 83646-0000

OWNER  
103 W LAVA FALLS DR  
MERIDIAN, ID 83646-0000

OWNER  
508 N CLEARPOINT WAY  
EAGLE, ID 83616-0000

OWNER  
3900 N PRICE WAY  
MERIDIAN, ID 83646-0000

OWNER  
471 W JORDANELLE DR  
MERIDIAN, ID 83646-0000

OWNER  
4434 N PRICE AVE  
MERIDIAN, ID 83646-0000

OWNER  
4010 N MERIDIAN RD  
MERIDIAN, ID 83646-0000

OWNER  
486 W JORDANELLE DR  
MERIDIAN, ID 83646-0000

OWNER  
158 W ANTON ST  
MERIDIAN, ID 83646-0000

OWNER  
4473 N ELSINORE AVE  
MERIDIAN, ID 83646-0000

OWNER  
4201 N PORTAGE AVE  
MERIDIAN, ID 83646-0000

OWNER  
4315 N BEAHAM AVE  
MERIDIAN, ID 83646-0000

OWNER  
187 W LAVA FALLS DR  
MERIDIAN, ID 83646-0000

OWNER  
4376 N PORTAGE AVE  
MERIDIAN, ID 83646-0000

OWNER  
4371 N BEAHAM AVE  
MERIDIAN, ID 83646-0000

OWNER  
4429 N PRICE AVE  
MERIDIAN, ID 83646-0000

OWNER  
140 W ANTON ST  
MERIDIAN, ID 83646-0000

HEARTLAND HOMES  
2358 S TITANUIM PL  
MERIDIAN, ID 83642-0000

OWNER  
408 W ANTON DR  
MERIDIAN, ID 83646-0000

OWNER  
122 E ANTON ST  
MERIDIAN, ID 83646-0000

OWNER  
120 W WHITE SANDS DR  
MERIDIAN, ID 83646-0000

OWNER  
4193 N PORTAGE AVE  
MERIDIAN, ID 83646-0000

OWNER  
4398 N PORTAGE AVE  
MERIDIAN, ID 83646-0000

OWNER  
500 W YOSEMITE DR  
MERIDIAN, ID 83646-0000

OWNER  
4445 N ELSINORE AVE  
MERIDIAN, ID 83646-0000

OWNER  
194 W ANTON ST  
MERIDIAN, ID 83646-0000

OWNER  
4217 W CLINTON AVE  
BOISE, ID 83706-0000

OWNER  
141 W ANTON ST  
MERIDIAN, ID 83646-0000

OWNER  
4437 N BEAHAM AVE  
MERIDIAN, ID 83646-0000

OWNER  
491 W GREAT BASIN DR  
MERIDIAN, ID 83646-0000

OWNER  
PO BOX 6866  
BOISE, ID 83707-0000

OWNER  
249 W LAVA FALLS DR  
MERIDIAN, ID 83646-0000

OWNER  
4193 N BEAHAM PL  
MERIDIAN, ID 83646-0000

OWNER  
4459 N ELSINORE AVE  
MERIDIAN, ID 83646-0000

OWNER  
410 W FALLEN LEAF DR  
MERIDIAN, ID 83646-0000

OWNER  
26911 STEWART LN  
WILDER, ID 83676-0000

OWNER  
3911 N BARRON WAY  
MERIDIAN, ID 83646-0000

OWNER  
845 RANCH RD  
EAGLE, ID 83616-0000

OWNER  
3296 CHEMIN DE RIVIERE  
SAN JOSE, CA 95148

OWNER  
465 W GREAT BASIN DR  
MERIDIAN, ID 83646-0000

OWNER  
PO BOX 428  
MERIDIAN, ID 83680-0000

OWNER  
4040 N ALEXIS AVE  
MERIDIAN, ID 83646-0000

OWNER  
192 W WHITE SANDS DR  
MERIDIAN, ID 83646-0000

OWNER  
227 W WHITE SANDS DR  
MERIDIAN, ID 83646-0000

OWNER  
259 W WHITE SANDS DR  
MERIDIAN, ID 83646-0000

OWNER  
436 W ANTON DR  
MERIDIAN, ID 83646-0000

OWNER  
163 W ANTON ST  
MERIDIAN, ID 83646-0000

OWNER  
425 W YOSEMITE DR  
MERIDIAN, ID 83646-0000

OWNER  
4097 N ALEXIS AVE  
MERIDIAN, ID 83646-0000

OWNER  
1028 E CAYMAN DR  
MERIDIAN, ID 83642-0000

OWNER  
30789 SAIL LN  
MENIFEE, CA 92584-6993

OWNER  
3902 N ALEXIS WAY  
MERIDIAN, ID 83646-0000

OWNER  
483 W YOSEMITE DR  
MERIDIAN, ID 83646-0000

OWNER  
4359 N BEAHAM AVE  
MERIDIAN, ID 83646-0000

OWNER  
464 W ANTON DR  
MERIDIAN, ID 83646-0000

OWNER  
521 STAGE LINE PL  
MIDDLETON, ID 83644-0000

OWNER  
218 W WHITE SANDS DR  
MERIDIAN, ID 83646-0000

OWNER  
341 W WHITE SANDS DR  
MERIDIAN, ID 83646-0000

OWNER  
233 W LAVA FALLS DR  
MERIDIAN, ID 83646-0000

OWNER  
101 W WHITE SANDS DR  
MERIDIAN, ID 83646-0000

OWNER  
4078 N ALEXIS AVE  
MERIDIAN, ID 83646-0000

OWNER  
4455 N BEAHAM AVE  
MERIDIAN, ID 83646-0000

OWNER  
4268 N PORTAGE AVE  
MERIDIAN, ID 83646-0000

OWNER  
1977 E Overland Rd  
MERIDIAN, ID 83642-0000

OWNER  
3950 N ALESTER AVE  
MERIDIAN, ID 83646-0000

OWNER  
521 STAGE LINE PL  
MIDDLETON, ID 83644-0000

OWNER  
4231 N BEAHAM AVE  
MERIDIAN, ID 83646-0000

OWNER  
204 W WHITE SANDS DR  
MERIDIAN, ID 83646-0000

OWNER  
4186 N BEAHAM PL  
MERIDIAN, ID 83646-0000

OWNER  
304 W ANTON DR  
MERIDIAN, ID 83646-0000

OWNER  
3915 N ALEXIS WAY  
MERIDIAN, ID 83646-0000

OWNER  
1607 NW 80TH ST  
VANCOUVER, WA 98665

SECRETARY OF HOUSING & URBAN  
DEVELOPMENT  
2401 NW 23RD STE 1D  
OKLAHOMA CITY, OK 73107

OWNER  
4474 N ALESTER AVE  
MERIDIAN, ID 83646-0000

OWNER  
4263 N BEAHAM AVE  
MERIDIAN, ID 83646-0000

OWNER  
4059 N ALEXIS AVE  
MERIDIAN, ID 83646-0000

OWNER  
234 W WHITE SANDS DR  
MERIDIAN, ID 83646-0000

OWNER  
4290 N PORTAGE AVE  
MERIDIAN, ID 83646-0000

OWNER  
PO BOX 1051  
MERIDIAN, ID 83680-0000

OWNER  
325 W WHITE SANDS DR  
MERIDIAN, ID 83646-0000

OWNER  
492 W ANTON DR  
MERIDIAN, ID 83646-0000

OWNER  
4445 N PRICE AVE  
MERIDIAN, ID 83646-0000

OWNER  
427 W GREAT BASIN DR  
MERIDIAN, ID 83646-0000

OWNER  
4419 N BEAHAM AVE  
MERIDIAN, ID 83646-0000

OWNER  
135 W ANTON ST  
MERIDIAN, ID 83646-0000

OWNER  
382 W ANTON DR  
MERIDIAN, ID 83646-0000

OWNER  
16841 LEAFWOOD CIR  
HUNTINGTON BEACH, CA 92647

OWNER  
4415 N PORTAGE AVE  
MERIDIAN, ID 83646-0000

OWNER  
184 W WHITE SANDS DR  
MERIDIAN, ID 83646-0000

OWNER  
4151 N BEAHAM PL  
MERIDIAN, ID 83646-0000

OWNER  
4106 N ALEXIS AVE  
MERIDIAN, ID 83646-0000

OWNER  
103 E HAVASUPAI ST  
MERIDIAN, ID 83646-0000

OWNER  
4440 N BEAHAM AVE  
MERIDIAN, ID 83646-0000

OWNER  
PO BOX 2310  
SUN VALLEY, ID 83353

OWNER  
4364 N PORTAGE AVE  
MERIDIAN, ID 83646-0000

SOLITUDE PLACE SUB HOA INC  
6126 W STATE ST #107  
BOISE, ID 83703-0000

OWNER  
3977 N LEZANA AVE  
MERIDIAN, ID 83646-0000

SUNDANCE HOA  
6126 W STATE ST  
BOISE, ID 83703-0000

OWNER  
4460 N ALESTER AVE  
MERIDIAN, ID 83646-0000

OWNER  
4404 N ALESTER AVE  
MERIDIAN, ID 83646-0000

OWNER  
291 W WHITE SANDS DR  
MERIDIAN, ID 83646-0000

OWNER  
395 W WHITE SANDS DR  
MERIDIAN, ID 83646-0000

OWNER  
181 W WHITE SANDS DR  
MERIDIAN, ID 83646-0000

OWNER  
330 W ANTON DR  
MERIDIAN, ID 83646-0000

OWNER  
397 ADA WAY  
OAKLAND, CA 95361

OWNER  
215 W LAVA FALLS DR  
MERIDIAN, ID 83646-0000

OWNER  
101 E KAIBAB TRAIL ST  
MERIDIAN, ID 83646-0000

OWNER  
105 E KAIBAB TRAIL ST  
MERIDIAN, ID 83646-0000

OWNER  
96 E ANTON ST  
MERIDIAN, ID 83646-0000

OWNER  
4453 N PORTAGE AVE  
MERIDIAN, ID 83646-0000

OWNER  
3945 N BARRON WAY  
MERIDIAN, ID 83646-0000

OWNER  
4387 N PORTAGE AVE  
MERIDIAN, ID 83646-0000

OWNER  
331 25TH AVE  
SAN FRANCISCO, CA 94121-1911

OWNER

439 W GREAT BASIN DR  
MERIDIAN, ID 83646-0000

OWNER

3978 N ALESTER AVE  
MERIDIAN, ID 83646-0000

## COMMITMENT OF PROPERTY POSTING

Per Unified Development Code (UDC) 11-5A-5D, the applicant for all applications requiring a public hearing (except for a UDC text amendment, a Comprehensive Plan text amendment and/or vacations) shall post the subject property not less than ten (10) days prior to the hearing. The applicant shall post a copy of the public hearing notice of the application(s) on the property under consideration.

The applicant shall submit proof of property posting in the form of a notarized statement and a photograph of the posting to the City no later than seven (7) days prior to the public hearing attesting to where and when the sign(s) were posted. Unless such Certificate is received by the required date, the hearing will be continued.

The sign(s) shall be removed no later than three (3) days after the end of the public hearing for which the sign(s) had been posted.

I am aware of the above requirements and will comply with the posting requirements as stated in UDC 11-5A-5.

  
\_\_\_\_\_  
Applicant/agent signature

2-3-16  
\_\_\_\_\_  
Date



Community Development  
Department

Meridian City Hall, Suite 102  
33 E. Broadway Avenue  
Meridian, Idaho 83642  
208.887.2211

## Parcel Verification

Date: **2/9/16**

The parcel information below has been researched and verified as correct by the City of Meridian Community Development Department.

Project Name: **Whiteacre Subdivision**

Parcel Numbers: **S0436142200 (8.77 Acres)**  
**S0436141950 (24.47 Acres)**  
**S0436141850 (7.7 Acres)**

T/R/S: **4N 1W 36**

Property Owners: **Pamela Neimann Geile (1<sup>st</sup> two parcels listed)**  
**4399 N. Meridian Rd.**  
**Meridian, ID 83646**

**Randall T. Geile (last parcel listed)**  
**4399 N. Meridian Rd.**  
**Meridian, ID 83646**

December 3, 2015

Kent Brown  
Greg Carter, PLS  
Idaho Survey Group

RE: Subdivision Name Reservation: "Whiteacre Subdivision" NE 1/4 Sec 17 Sec 36, T4N, R1W, BM.

Dear Kent and Greg,

At your request, I will reserve the name "**Whiteacre Subdivision**" for your project. I can honor this reservation only as long as your project is in the approval process. Final approval can only take place when the final plat is recorded.

This reservation is available for the project as long as it is in the approval process unless the project is terminated by the client or the jurisdiction or the conditions of approval have not been met. In which case the name can be re-used by someone else.

Sincerely,



**Ada County**  
**2025**  
Collaborate. Innovate. Thrive  
[www.adacounty2025.com](http://www.adacounty2025.com)

Jerry L. Hastings, PLS 5359  
County Surveyor  
Ex Officio Recorder  
Ada County Development Services  
200 W. Front St., Boise, ID 83702  
(208) 287-7912 office  
(208) 287-7909 fax

**ADA COUNTY STREET NAME COMMITTEE  
STREET NAME EVALUATION**

Preliminary Plat   
Final Plat

X

Evaluation Date: January 28, 2016

Project Name: WHITEACRE SUB

Township/Range/Section: 4N 1W 36

Parcel Number: S0436141850, S0436141950, S0436142200

City/County Agency: MERIDIAN

Project/Plat Applicant: Kent Brown

Phone No: \_\_\_\_\_

*The street name comments listed below are made by the member of the ADA COUNTY STREET NAME COMMITTEE (Under the direction of the Ada County Assessor) regarding this development/project in accordance with the Ada County Street Name Ordinance. Overall final street names are subject to change at Final Plat phase levels due to design changes, time constraints and or previous recorded plat street alignments.*

The following existing street names shall appear on plat:

- E HALPIN DR ✓
- W FALLEN LEAF ST ✓
- N MERIDIAN RD ✓
- E WHITE SANDS ST ✓

Proposed street names:	Core Street Approved	Recommended for denial Denial-Reason code pg 2	Comment
1 N ALESTER AVE ✓ ✓	X		
2 N AMBERCREEK AVE ✓ ✓	X		
3 N ELSINORE AVE ✓ ✓	X		
4 W FALLEN LEAF ST ✓ ✓	X		
5 W HALPIN ST ✓ ✓	X		
6 W KAIBAB TRAIL ST ✓ ✓	X		
7 N PRICE AVE ✓ ✓	X		
8 N PRICE PL ✓ ✓	X		
9 W WANDA ST ✓ ✓	X		
10 W WHITE SANDS ST ✓ ✓	X		
11 W YOSEMITE ST ✓ ✓	X		

Please make the following changes or corrections:

Please replace blank E/W street south of Ambercreek & Alester with W WHITE SANDS ST

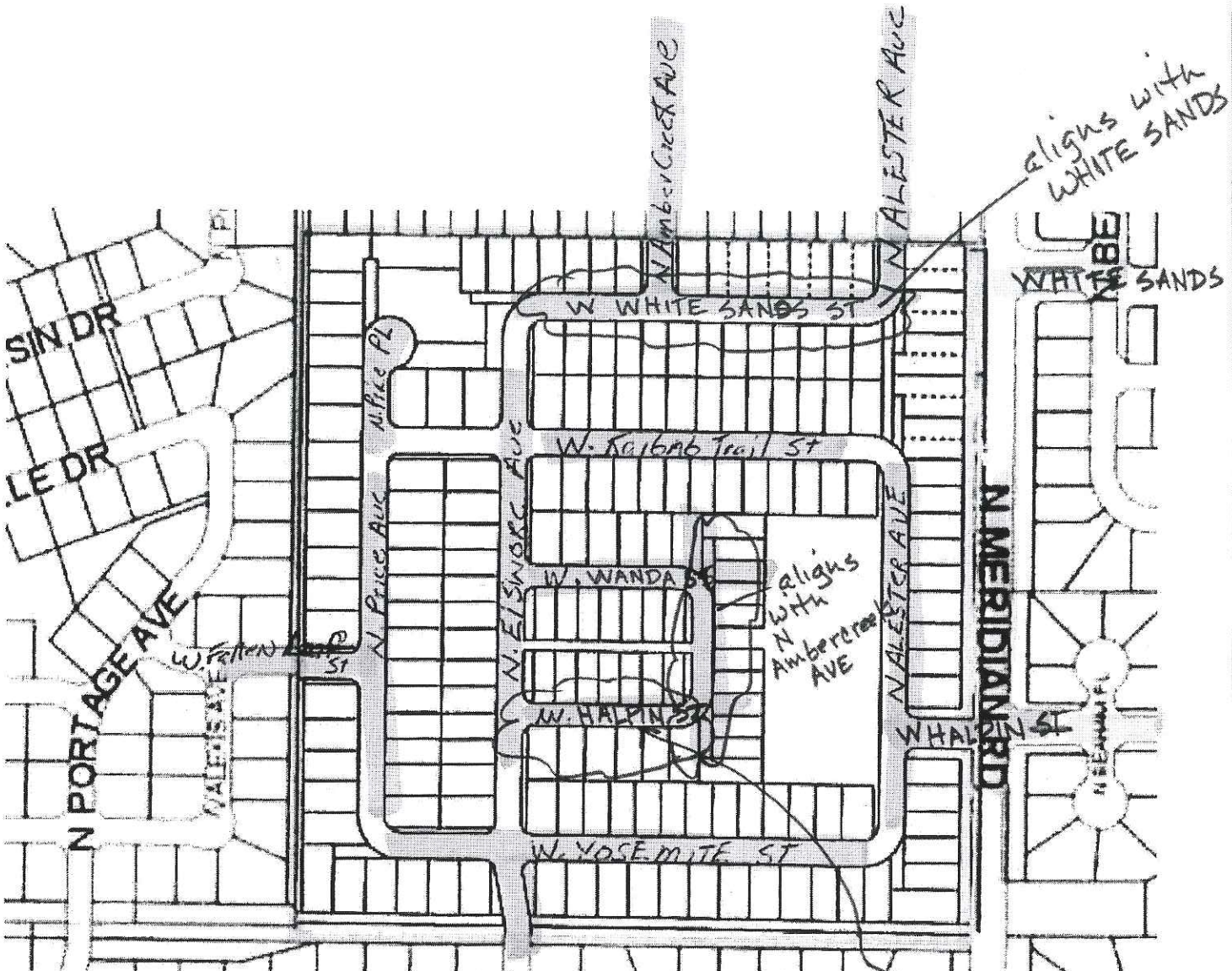
Please replace blank E/W street south of Kaibab Trail with W WANDA ST

Please replace blank E/W street south of W Wanda St with W HALPIN ST

Please replace blank N/S street west of N Alester Ave with W AMBERCREEK AVE

*NOTE: If there are corrections and changes recommended, please make these changes on the subdivision plat and resubmit to the committee. A final review with no changes required and the matching plat must be presented to the Ada County Surveyor at time of recording.*





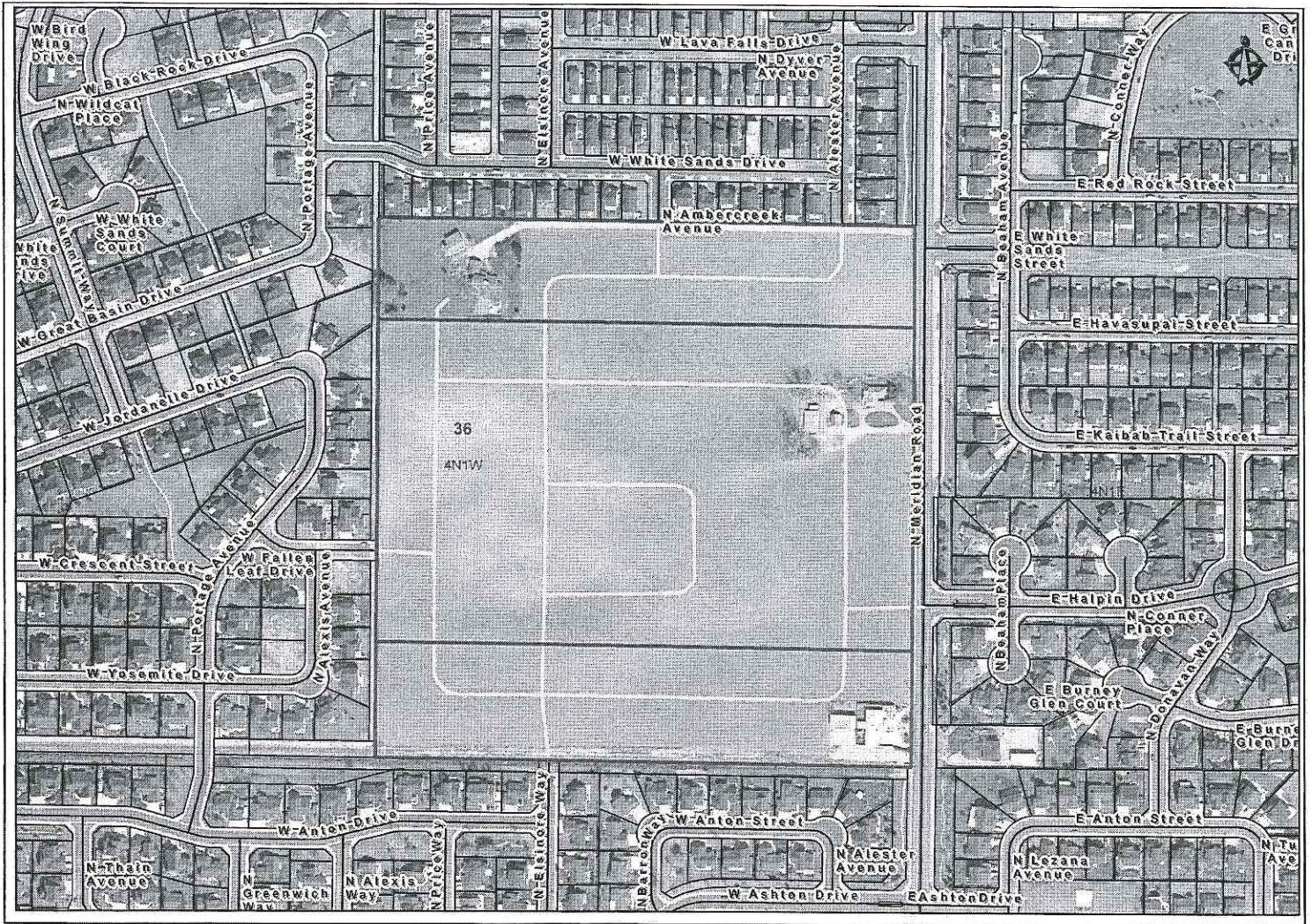
aligns with  
WHITE SANDS

WHITE SANDS

aligns  
with  
N  
Ambercree  
AVE

Whiteacre Subdivision

aligns with  
HALPIN



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ADA COUNTY ASSESSOR  
 Land Records Division  
 Geographic Information Systems  
 180 E. Front Street, Ste. 107  
 Boise, ID 83702

1 inch = 300 feet

## Bill Parsons

---

**From:** Mindy Wallace <Mwallace@achdidaho.org>  
**Sent:** Monday, February 29, 2016 9:19 AM  
**To:** Bill Parsons  
**Cc:** 'marmuth@hubblehomes.com'  
**Subject:** Whiteacres TIS

Bill,

ACHD has accepted the Whiteacres traffic impact study.

Please let me know if you have any questions.

Mindy

Mindy Wallace, AICP  
Planner III  
Ada County Highway District  
208-387-6178

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## EXECUTIVE SUMMARY

### ***Introduction***

Thompson Engineers, Inc. has been retained to prepare a traffic impact study for the proposed Whiteacre Subdivision in Star, Meridian. The project is located on Meridian Road. The purpose of this study is to evaluate the potential traffic impacts resulting from the project and make recommendations for mitigation of the impacts. The study is prepared in accordance with the requirements of the Ada County Highway District.

### ***Proposed Development***

The project is a residential development of approximately 197 single family dwelling units. The preliminary plat was not finalized at the time of this report.

The site is expected to access the transportation system primarily via Meridian Road, however it will also have access to the transportation system via existing stub streets to other developments.

### ***Study Area***

The area of influence is anticipated to be west Ada County, Idaho, including the City of Meridian. The primary impacts will be along Meridian Road and McMillan Road. The study area will include the intersections of:

- Halpin Drive and Meridian Road
- Summit Way and McMillan Road

### ***Conclusions***

Below are the findings of this report:

- Based on the trip generation methods recommended in the Trip Generation Manual, the site will generate 1875 trips per day, of which 147 trips will occur during the AM peak hour and 197 trips will occur during the PM peak hour.
- The site will access the transportation system primarily via Meridian Road. The site will also connect to existing stub roads which will also provide access to the transportation system
- The intersection of McMillan Road and Summit Way will operate at acceptable levels of service under background and total traffic conditions in the build out year. The critical peak hour is in the PM peak hour.
- The intersection of Meridian Road and Halpin Drive will operate at acceptable levels of service under background and total traffic conditions in the build out year. The critical peak hour is in the PM peak hour.
- Meridian Road is expected to operate at an acceptable, better than LOS E in the build out year based on the ACHD policy for primary arterial roads.
- McMillan Road is operating at worse than LOS D under existing traffic conditions on the ACHD policy for minor arterial roads. McMillan Road will need to be

widened to three lanes to operate at LOS D or better. With three lanes, McMillan Road will operate at LOS D or better under total traffic conditions.

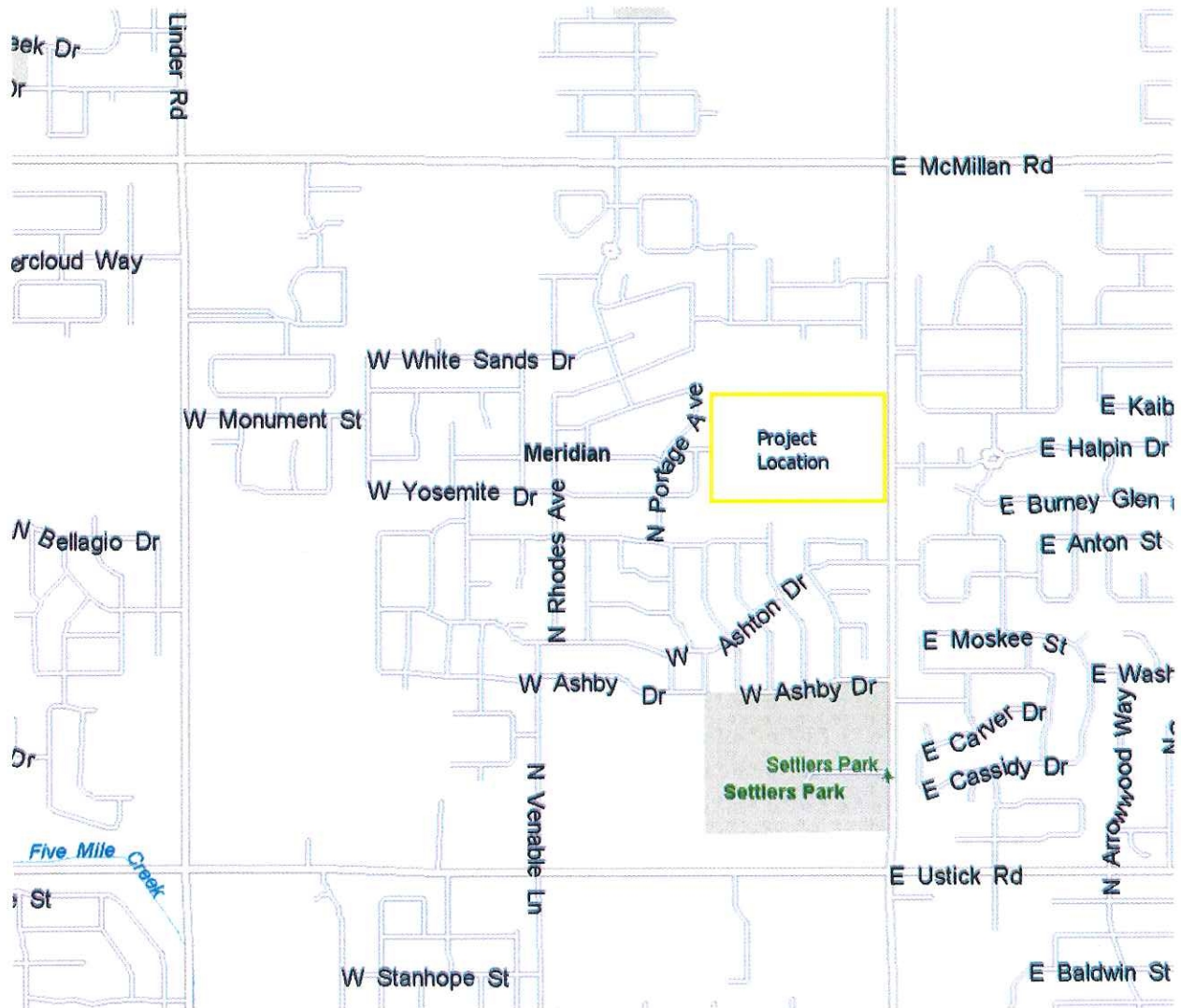
- The proposed site plan provides good circulation and good connectivity to other developments.
- The site approach on Meridian Road will align with Halpin Drive, and is in conformance with ACHD access standards. A left turn lane is warranted. A right turn lane is not warranted/
- A left turn lane is not warranted on westbound McMillan Road at the intersection with Summit Way. This project does not contribute traffic to that movement. In fact, by providing alternative access, it is anticipated that the left turn volume will actually decrease. This project contributes about 1.5% more traffic to the intersection.

## INTRODUCTION

Thompson Engineers, Inc. has been retained to prepare a traffic impact study for the proposed Whiteacre Subdivision in Star, Meridian. The project is located on Meridian Road, between McMillan Road and Ustick Road, approximately as shown in **Figure 1**. The purpose of this study is to evaluate the potential traffic impacts resulting from the project and make recommendations for mitigation of those impacts. In particular, the scope of the study includes the following:

- Trip generation of the proposed development
- Trip distribution and traffic assignment of the site generated traffic
- The capacity of the transportation system to support the development
- Intersection treatment of the site access points

**Figure 1 - Project Location**





## STUDY AREA CONDITIONS

### *Study Area*

The area of influence is anticipated to be west Ada County, Idaho, including the City of Meridian. The primary impacts will be along Meridian Road and McMillan Road. The study area will include the intersection of Halpin Drive and Meridian Road and Summit Way and McMillan Road, as determined by a model run of the COMPASS transportation model.

### *Land Use*

The site is within the Meridian City Limits and is currently used for agricultural purposes. It is not currently zoned by the City of Meridian. The Meridian Comprehensive Plan shows this area as medium density housing.

## STUDY PERIOD

### *Build Out Year*

The Build out Year for this project is assumed to be 2020 to correspond with COMPASS data and other development. The actual build out of the site will depend on market conditions and project implementation.

### *Horizon Year*

2030 was selected as the horizon year, in accordance with the requirements of the Ada County Highway District.

## EXISTING CONDITIONS

### *Road System*

Meridian Road is classified as a principal arterial road by ACHD. In the vicinity of this project, it has one through lane in each direction, and narrow shoulders. Lanes are approximately 12 feet wide. It does not have curb and gutter on either side of the roadway. It has a posted speed of 35 MPH in front of the project.

McMillan Road is classified as a minor arterial road by ACHD. In the vicinity of this project, it has one through lane in each direction, and narrow shoulders. Lanes are approximately 12 feet wide. It does not have curb and gutter on either side of the roadway. It has a posted speed of 40 MPH in the vicinity of the project.

### *Traffic Volumes*

AM and PM Traffic counts were obtained at the intersections in the study area the week of December 1, 2015. Existing AM Peak Hour traffic volumes are shown in **Figure 3**. Existing PM Peak Hour traffic volumes are shown in **Figure 4**.

Figure 3 - Existing AM Peak Hour Conditions

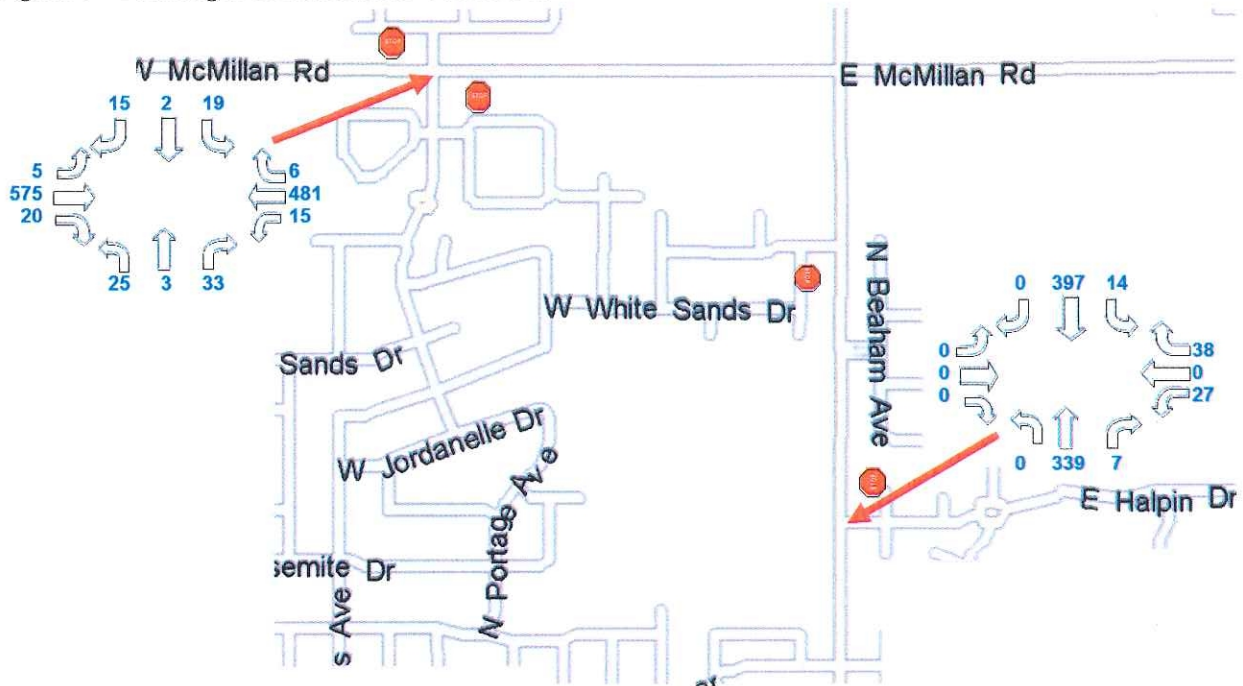
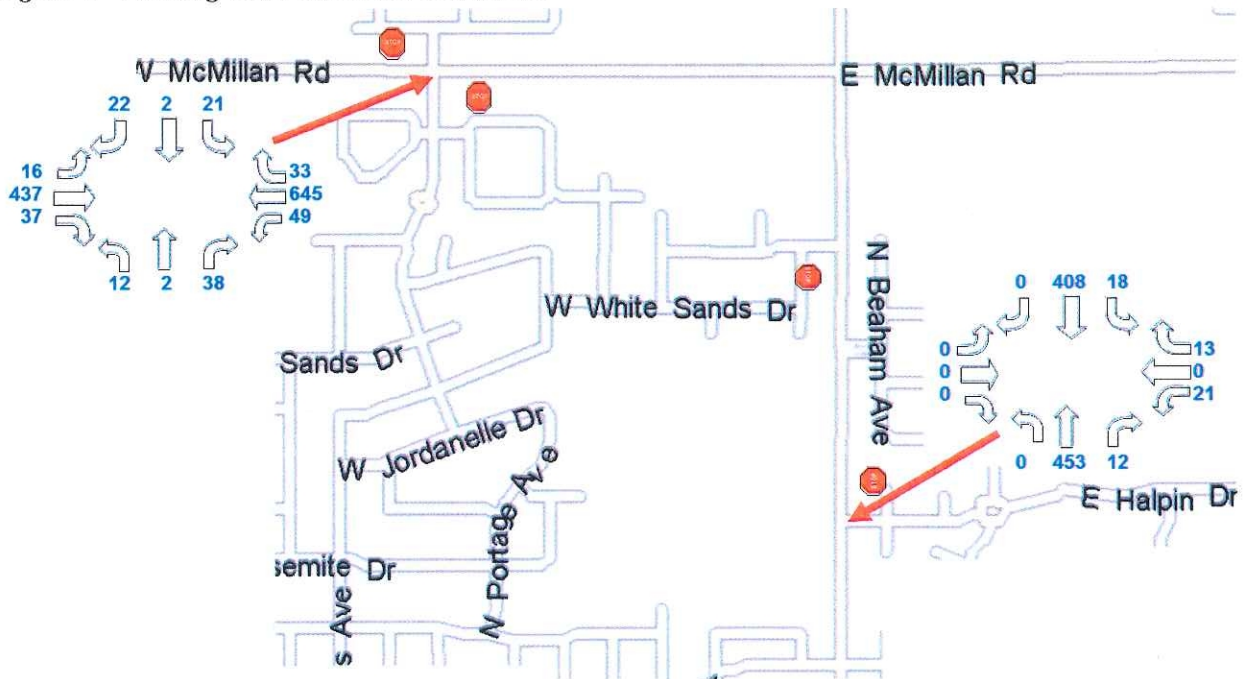


Figure 4 - Existing PM Peak Hour Conditions



## Daily Traffic

Daily counts on were obtained by L2 Data Collection on January 5, 2016.

*Table 1 - Daily Traffic*

Roadway Segment	Location	Daily Volume	Direction	Peak Hour	Count	Date
McMillan Road	W. of Meridian	11717	EB	AM	639	1/5/16
			WB	PM	744	1/5/16
Meridian Road	S. of McMillan	9812	SB	AM	442	1/5/16
			NB	PM	470	1/5/16

## System Improvements

There are no projects in the ACHD Five Year Capital Improvement Plan that would add capacity to the transportation system, or change traffic patterns in the study area of this project. The 20 Year Capital Improvement Plan includes reconstruction of the Meridian Road to three lanes in the 2017-2022 planning period.

## Accident Analysis

Accident data for the intersection of Munger/Floating Feather/Star Roads for the years 2010 through 2014 was obtained from the LHATC. The full report is included in the appendix of this report. The accidents can be summarized as follows:

*Table 2- Roadway Accident Summary 2010-2014*

Fatal Accidents	0
Injury Accidents	4
Property Damage Accidents	6
Total Accidents	10
Single Vehicle Accidents	2
Multi Vehicle Accidents	8

Three of the accidents were not were not intersection related. The contributing factors to these accidents were inattention, following too close, and alcohol impairment. Roadway conditions were not considered contributing causes.

Seven of the accidents were intersection related. Two occurred at Halpin Drive, four occurred at Ashton Drive and one occurred at White Sands Drive. A wide variety of contributing factors were cited in the accident report, but roadway conditions, geometry, or sight restrictions were not listed.

## PROJECTED TRAFFIC

### Background Traffic

Future traffic is obtained by expanding the existing traffic volumes by a growth factor. A growth factor of 2.0% per year is used. Background AM Peak Hour traffic for the build out year is shown in **Figure 5**. Background PM Peak Hour traffic for the build out year is shown in **Figure 6**.

Horizon year traffic should be viewed with caution as even low levels of growth over prolonged periods of time can result in large increases in traffic. Horizon year volumes should be used for planning purposes only.

### Off Site Traffic

Based on information provided, no significant off site development is projected at this time.

Figure 5 - Build Out Year AM Peak Hour Background Traffic

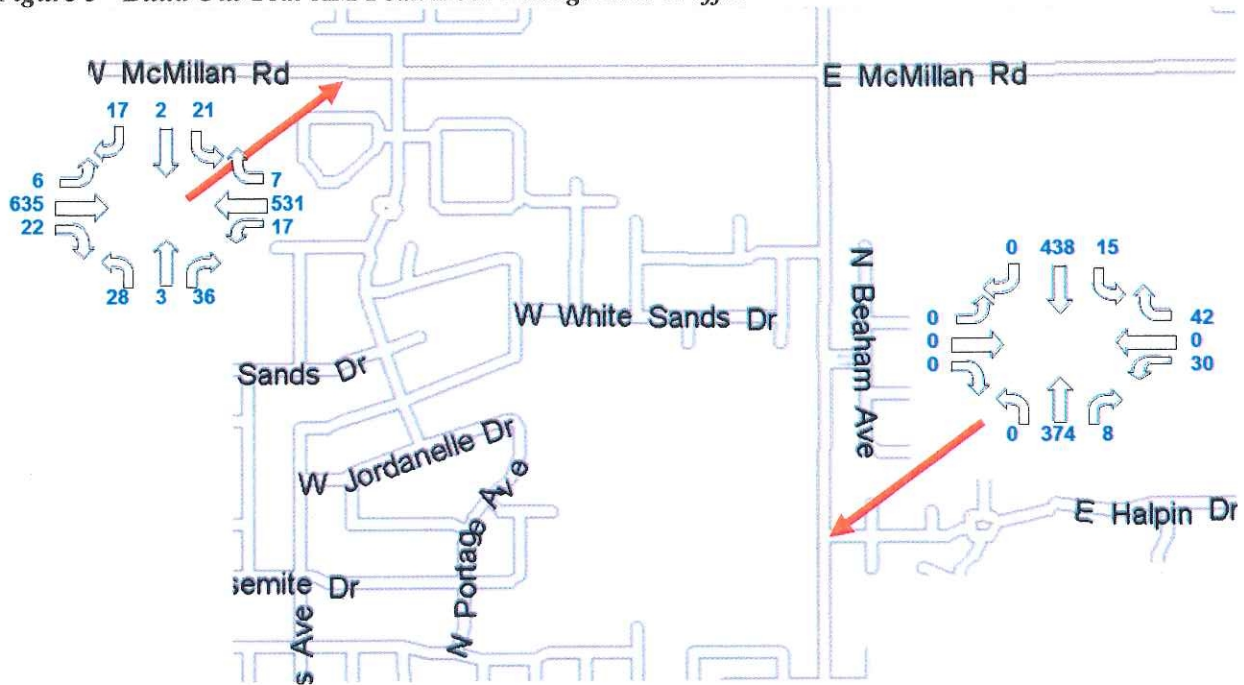
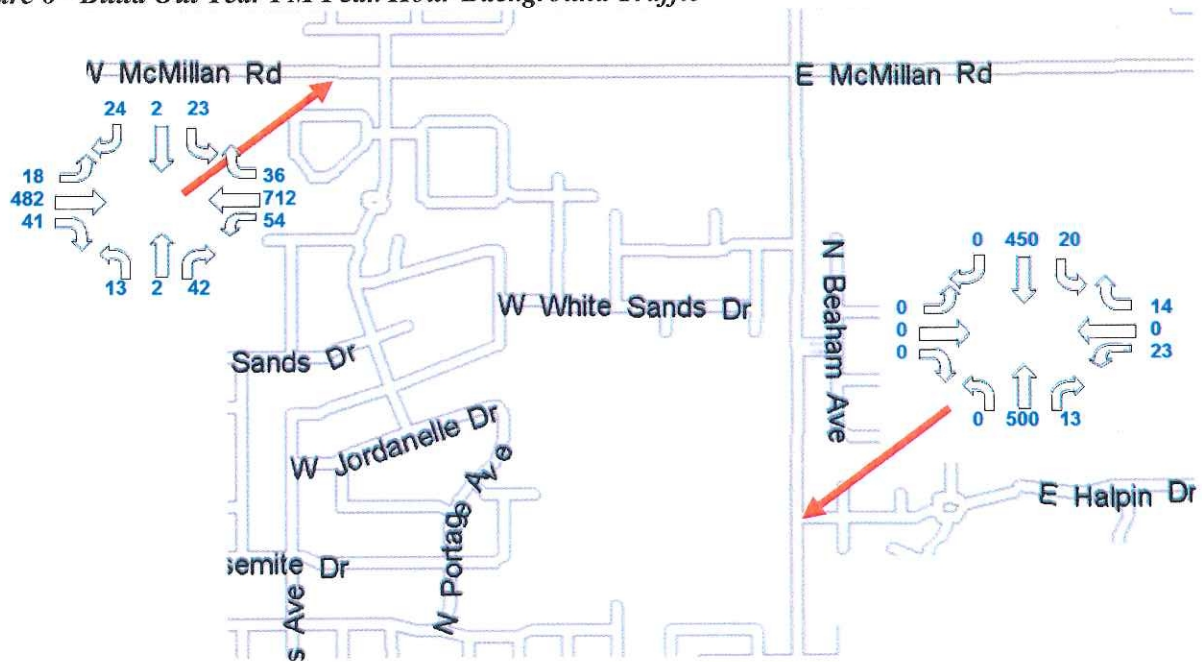


Figure 6 - Build Out Year PM Peak Hour Background Traffic



## Trip Generation

In the absence of site-specific data, site trip generation is estimated using the procedures recommended in the latest edition of the Trip Generation Manual (9<sup>th</sup> edition), published by the Institute of Transportation Engineers. Site trip generation is obtained by applying the average trip generation rates obtained from the Manual for each category of land use within the development. **Table 3** shows the trip generation of the site. Pass by rates are estimated from data published by the Institute of Transportation Engineers.

**Table 3 - Trip Generation**

### Summary of Trip Generation Average Weekday Driveway Volumes

ITE Code	Land Use	197	Units	24 hr 2-Way		Total
				Rate	Total	
210	Single Family Dwellings	197	DU	9.52	1875	1875
Total				1875		1875

### Average Weekday AM Peak Hour Driveway Volumes

ITE Code	Land Use	No.	Units	Enter		Enter Total	Exit		Exit Total	Total
				Rate	Total		Rate	Total		
210	Single Family Dwellings	197	DU	0.19	37	37	0.56	110	110	147
Total				37		37	110		110	147

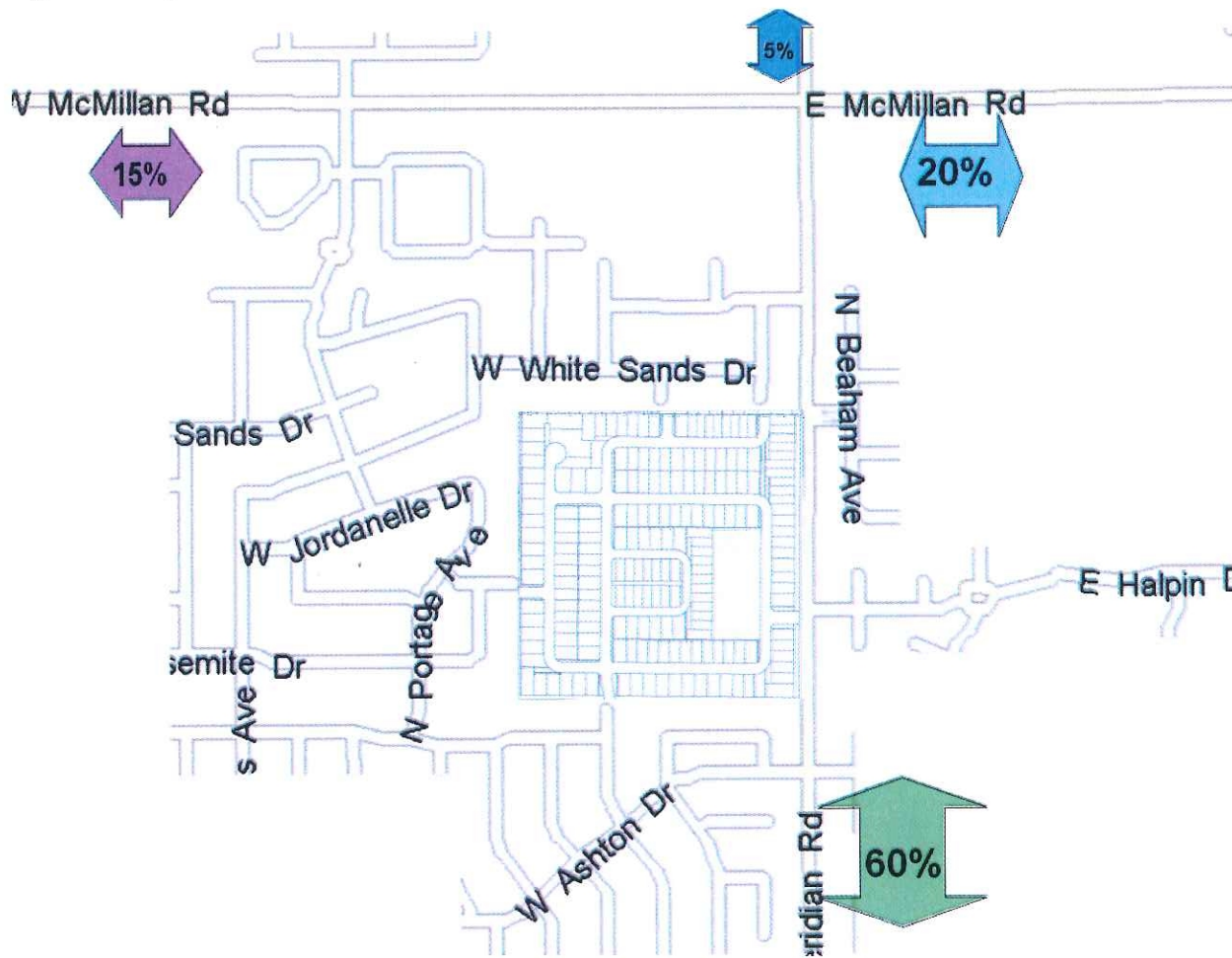
### Average Weekday PM Peak Hour Driveway Volumes

ITE Code	Land Use	No.	Units	Enter		Enter Total	Exit		Exit Total	Total
				Rate	Total		Rate	Total		
210	Single Family Dwellings	197	DU	0.67	132	132	0.33	65	65	197
Total				132		132	65		65	197

## Trip Distribution

In order to determine impacts, the trips generated by the site must be distributed to destinations throughout Ada County and assigned to the transportation system. Based on current travel patterns, the modal split is negligible, so all trips are assigned to vehicles, and the vehicles are assigned to the roadway system. The distribution for this development is based on information obtained from COMPASS, and current travel patterns. The site traffic distribution for the development is shown in **Figure 7**.

Figure 7 - Trip Distribution



### Site Traffic

Site traffic is distributed at the study intersection in accordance with the distribution from Figure 7. **Figure 8** shows the distribution of site generated traffic for AM peak hour traffic conditions. **Figure 9** shows the distribution of site generated traffic for PM peak hour conditions.

The COMPASS model indicates that traffic from the development to the west will use the Whiteacre roadway system to access the transportation system. The Whiteacre roadways will provide a shorter route to Meridian Road for many existing houses. The exact number is estimated based on an assumed shortest route. These trips will be redistributed and are shown in red. A negative number indicates a trip will use an alternative route.

Figure 8 - AM Peak Hour Site Traffic



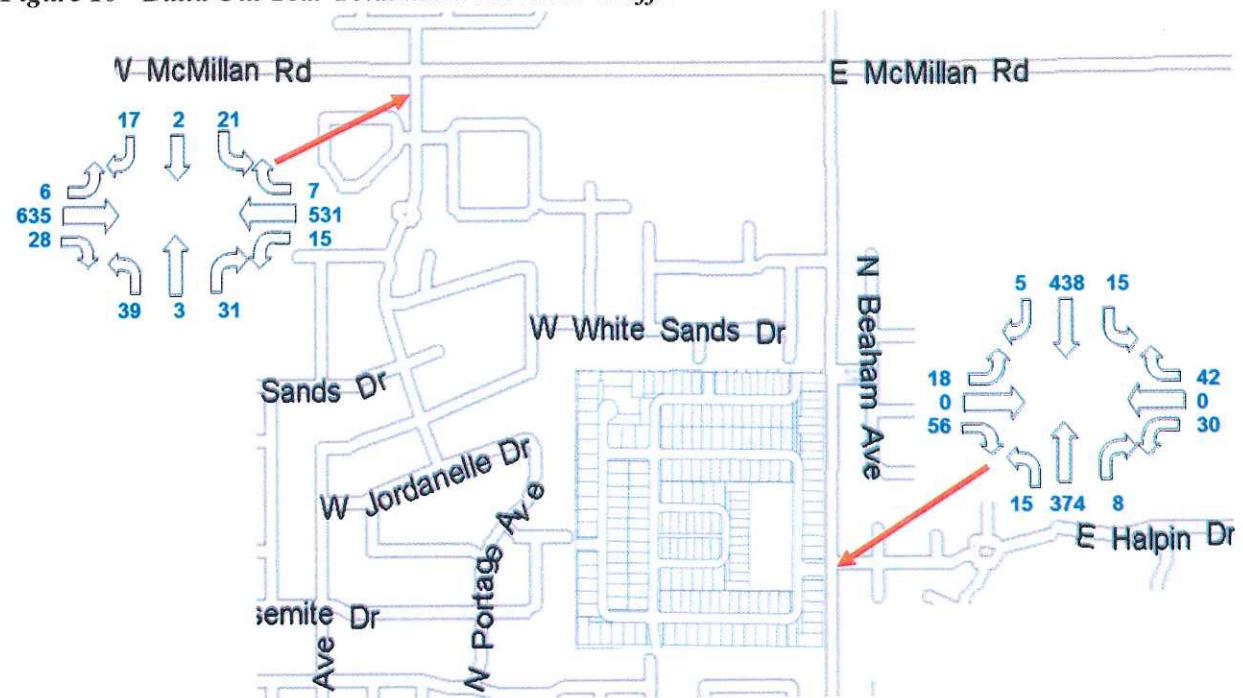
Figure 9 - PM Peak Hour Site Traffic



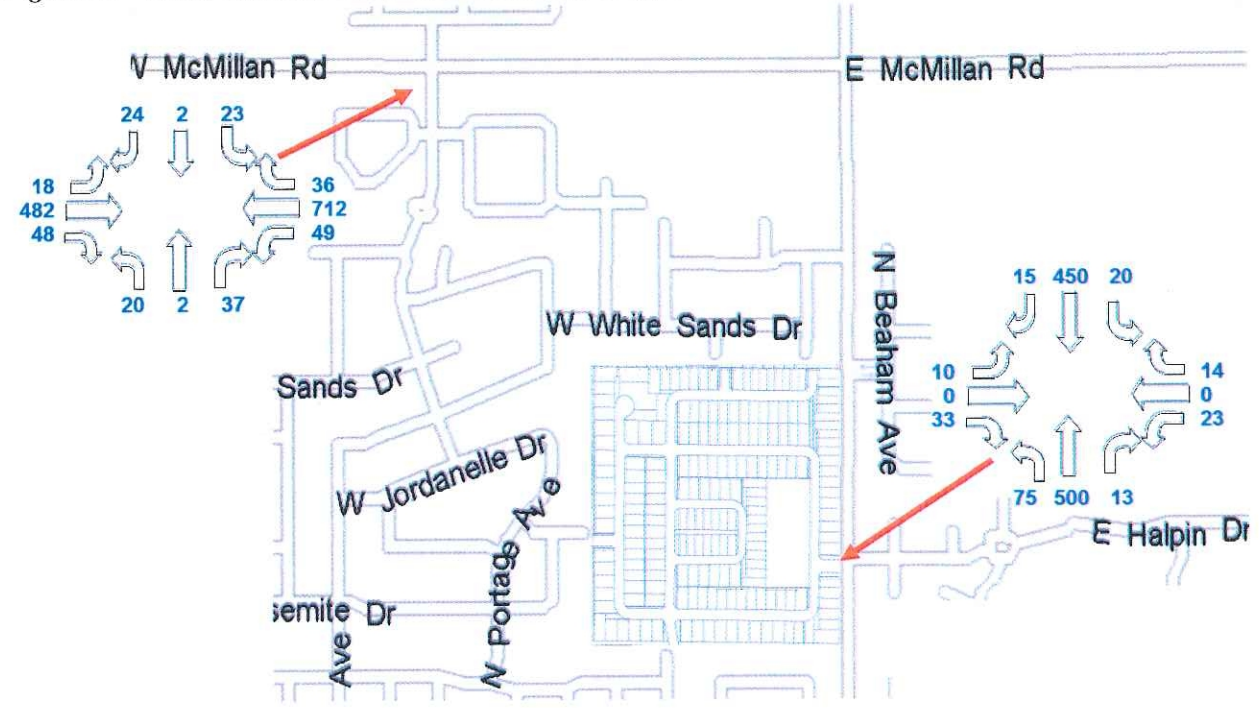
### Total Traffic

The site traffic is then added to the background traffic as determined above. **Figure 10** shows the total traffic at each intersection for AM peak hour conditions. **Figure 11** shows the total traffic at each intersection for PM peak hour traffic conditions for the build out year of 2020.

*Figure 10 - Build Out Year Total AM Peak Hour Traffic*



*Figure 11 - Build Out Year Total PM Peak Hour Traffic*



## TRAFFIC ANALYSIS

### Capacity Analysis and Level of Service

Capacity analysis was performed using the Highway Capacity Software (HCS2010), based on the 2010 edition of the Highway Capacity Manual. Level of service for stop controlled intersections is based on the average delay of vehicles traveling through the intersection. **Table 4** shows the AM peak hour intersection. **Table 5** shows the PM peak hour intersection. Copies of the calculations are included in the appendix of this report.

**Table 4 - AM Peak Hour Intersection Summary**

LOS Summary AM Peak Hour Conditions	2015			Build Out					
	Existing			Background			Total		
	Delay s/v	v/c	LOS	Delay s/v	v/c	LOS	Delay s/v	v/c	LOS
Meridian/Halpin	15.0		B	17.1		C	21.3		C
NB Approach	8.2	0.00	A	8.3	0.00	A	8.4	0.02	A
SB Approach	8.1	0.02	A	8.2	0.02	A	8.2	0.02	A
EB Approach	0.0	0.00		0.0	0.00		18.3	0.26	C
WB Approach	15.0	0.19	B	17.1	0.26	C	21.3	0.34	C
McMillan /Summit	31.9		D	43.4		E	41.8		E
EB Approach	8.4	0.01	A	8.6	0.01	A	8.6	0.02	A
WB Approach	9.1	0.02	A	9.4	0.03	A	9.4	0.03	A
NB Approach	42.2	0.27	E	34.0	0.39	D	37.2	0.42	E
SB Approach	45.7	0.23	E	43.4	0.34	E	41.8	0.33	E

**Table 5 - PM Peak Hour Intersection Analysis Summary**

LOS Summary PM Peak Hour Conditions	2015			Build Out					
	Existing			Background			Total		
	Delay s/v	v/c	LOS	Delay s/v	v/c	LOS	Delay s/v	v/c	LOS
Meridian/Halpin	20.7		C	22.8		C	33.7		D
NB Approach	8.4	0.00	A	8.4	0.00	A	8.7	0.10	A
SB Approach	8.7	0.03	A	8.7	0.03	A	8.6	0.03	A
EB Approach	0.0	0.00		0.0	0.00		20.9	0.20	C
WB Approach	20.7	0.20	C	22.8	0.20	C	33.7	0.30	D
McMillan /Summit	44.4		E	48.4		E	45.0		E
EB Approach	9.2	0.03	A	9.4	0.03	A	9.4	0.03	A
WB Approach	8.8	0.07	A	8.8	7.00	A	8.8	0.06	A
NB Approach	22.6	0.20	C	25.2	0.22	D	33.7	0.30	D
SB Approach	44.4	0.37	E	48.4	0.39	E	45.0	0.37	E

### Intersection Analysis

The intersection of McMillan Road and Summit Way will operate at an acceptable level of service without any improvements to the intersection.

The Meridian Road and Halpin Drive will operate at an acceptable level of service under build out conditions with the installation of a left turn lane in Meridian Road.

## Signal Warrant Analysis

All of the intersections included in this study operate at acceptable levels of service and therefore would not be candidates for signalization. No signal analysis is done for this study.

## Site Access

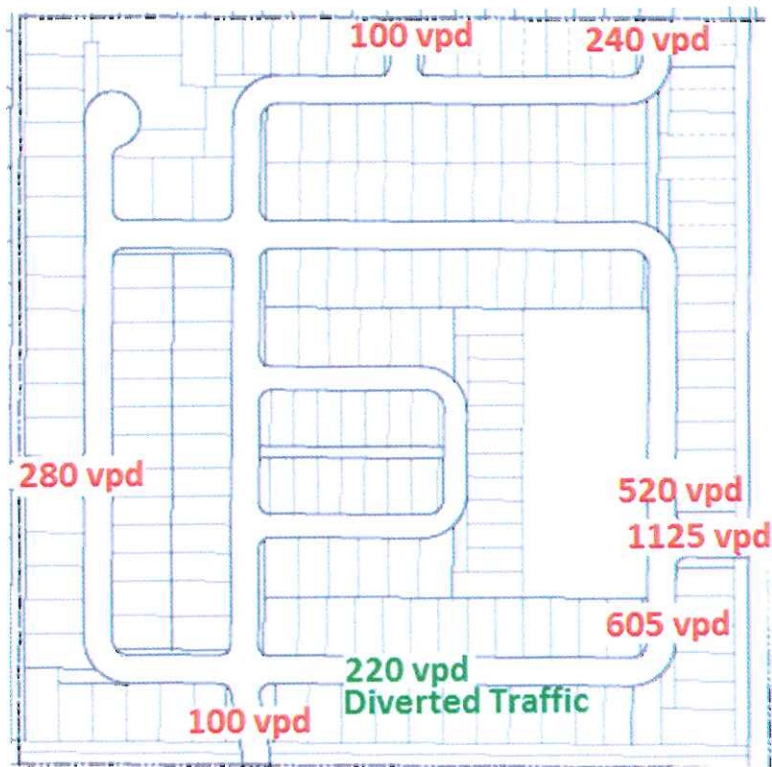
The developer is proposing access on Meridian Road at Halpin Driver. This access is in conformance with ACHD access policy.

The developer is also proposing to connect to four existing stub roads from other intersections. This is in conformance with ACHD policy. These alternative access points allow travelers to use alternative connections to the transportation system via existing roadways. This will disperse traffic from approaches that experience poor levels of service.

## Site Circulation

The site plan provides good internal circulation, several access points to the subdivision, and cross connection to other development. None of the internal roadways that show front on housing should exceed 1,000 vpd.

Figure 12 - Internal Daily Traffic Volumes



## Roadway Analysis

Roadway segments are analyzed under horizon year peak hour traffic in accordance with Table 2 of the ACHD Development Policy Manual. The results are shown in **Table 8**.

**Table 6 - Roadway Segment Analysis**

Roadway Segment	Location	Direction	Peak Hour	Build Out Year Traffic	Site Traffic	Off Site Traffic	Total Traffic
McMillan Road	W. of Meridian	EB	AM	705	11	-2	715
		WB	PM	820	15	-8	827
Meridian Road	S. of McMillan	SB	AM	488	56	0	544
		NB	PM	520	75	8	600

McMillan Road is classified as a minor arterial roadway. The minimum level of service required by ACHD policy is LOS D with a maximum directional hourly volume of 550 vehicles per hour. This roadway is currently operating at a higher volume than recommended. The site is expected to add less than 1% more traffic in the PM peak hour since some traffic will be diverted.

Meridian Road is classified as a principal arterial roadway. The minimum level of service required by ACHD policy is LOS E with a maximum directional hourly volume of 690 vehicles per hour. Meridian Road will operate below the maximum volume and will operate better than LOS E after the addition of site generated traffic and off site traffic.

### Travel Demand Management

As an infill development, this development is utilizing existing infrastructure and providing interconnectivity between existing developments. This development will provide opportunities for reducing the travel demand in the following ways:

- The proposed development is an infill development and will not require expansion of the transportation system to provide service.
- It is connecting to other developments, eliminating the need for vehicles to enter the transportation system when traveling to neighboring subdivisions.
- The high density housing provides opportunity for transit service in the area.
- An onsite park provides opportunity for recreation without using arterial roadways and is accessible via non motorized modes.

### Turn Lanes

Left turn lanes are analyzed using the guideline in Section 7106 of the ACHD Development Policy Manual. Analysis is shown in **Figure 13**. The posted speed limit on all roads is 40 MPH or less.

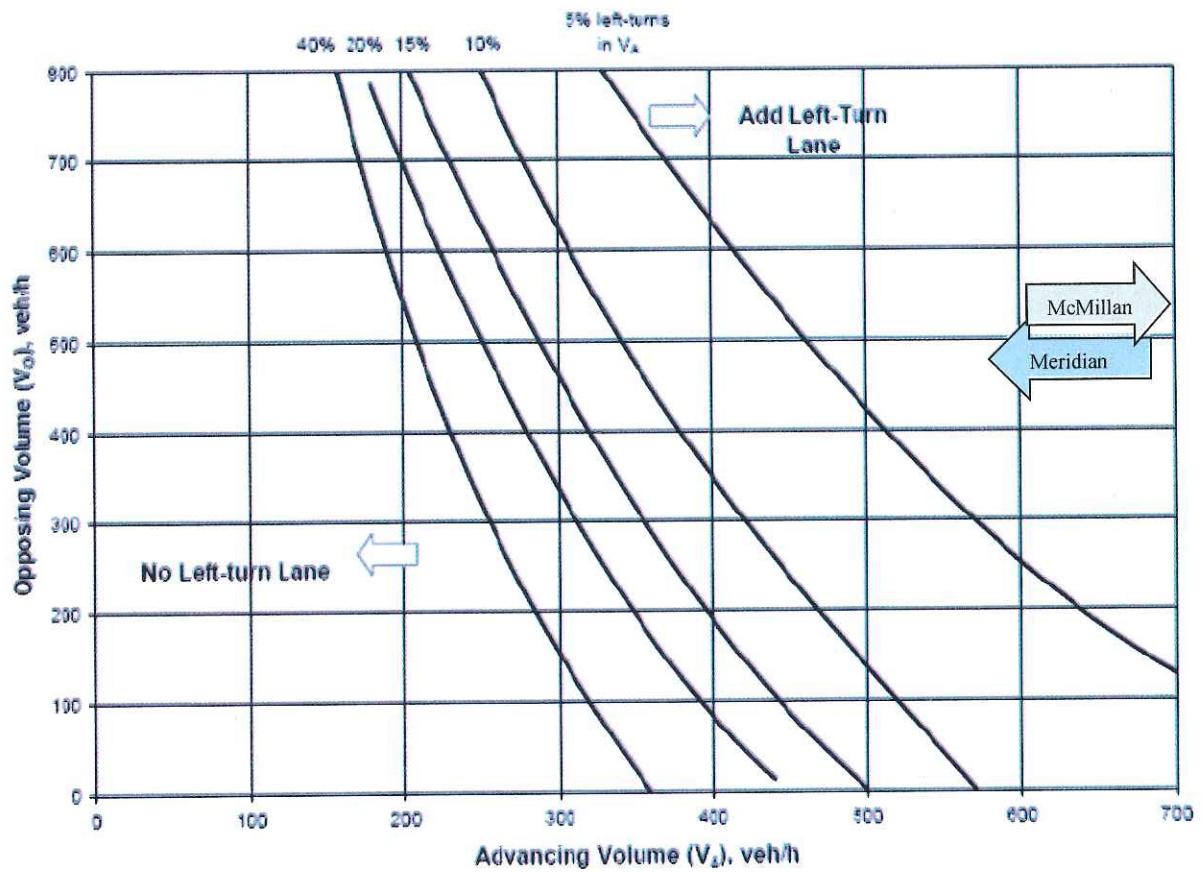
A left turn lane is warranted on northbound Meridian Road due to traffic entering the subdivision.

A left turn lane is warranted on westbound McMillan Road. Traffic from this project does not contribute to this movement. In fact, some traffic will probably be diverted from this movement.

Table 7 - Left Turn Lane Data

Roadway			Opposing Traffic	Through Traffic	Left Turns	Percent Left Turns	Critical Movement
Meridian Road	Halpin	AM Peak	458	390	15	4%	
		PM Peak	485	590	15	2.5%	X
McMillan Road	Summit	AM Peak	669	553	15	2%	
		PM Peak	548	797	49	6%	X

Figure 13 - Left Turn Lane Guideline for Two Lane Roads, 40 MPH or less



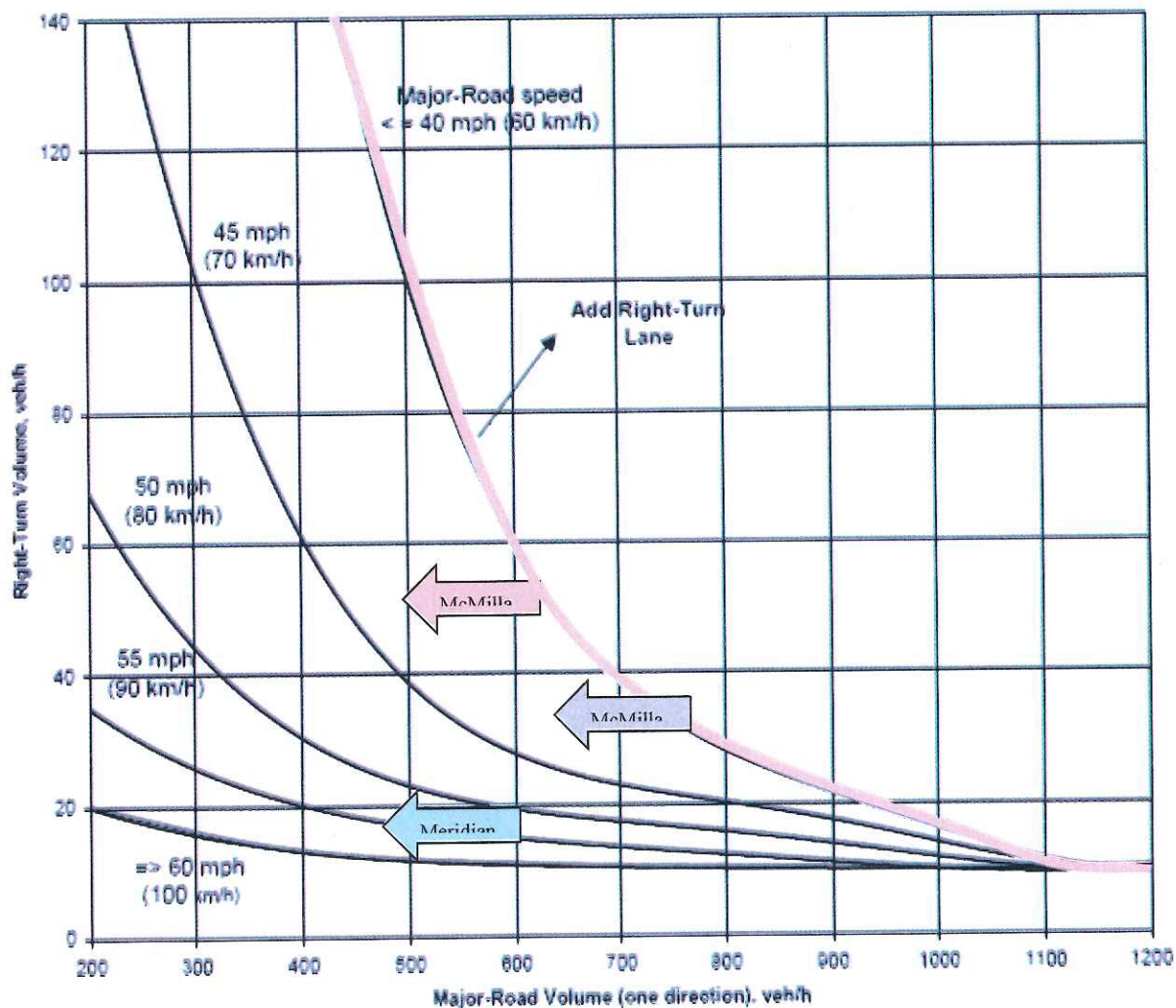
Right turn lanes are analyzed using the guideline in Section 7106 of the ACHD Development Policy Manual. Analysis is shown in **Figure 14**. The posted speed limit on all roads is 40 MPH or less.

A right turn lane is not warranted on southbound Meridian Road due to traffic entering the subdivision. A right turn is not warranted on westbound McMillan Road.

**Table 8 - Right Turn Lane Data**

Roadway			Through Traffic	Right Turns	Critical Movement
Meridian Road	Halpin	AM Peak	453	5	
		PM Peak	475	15	X
McMillan Road	Summit	AM Peak	641	28	X
		PM Peak	500	48	X

**Figure 14 - Right Turn Lane Analysis**



## DISCUSSIONS

### **Roadway Improvements**

#### **Required Due to Existing Traffic Conditions**

The intersection of Summit Way and McMillan Road functions at an acceptable level of service under existing traffic conditions. No improvements are required.

The intersection of Meridian Road and Halpin Drive functions at an acceptable level of service under existing traffic conditions. No improvements are required.

McMillan Road is currently operating above the vehicle threshold for LOS D, the recommended level of service for a minor arterial roadway. The roadway will need to be widened to three lanes to meet the threshold of LOS D.

#### **Required Due to Background Traffic Conditions**

The intersection of Summit Way and McMillan Road functions at an acceptable level of service under background traffic conditions. No improvements are required.

The intersection of Meridian Road and Halpin Drive functions at an acceptable level of service under background traffic conditions. No improvements are required.

McMillan Road will operate above the vehicle threshold for LOS D, the recommended level of service for a minor arterial roadway. The roadway will need to be widened to three lanes to meet the threshold of LOS D.

#### **Required Due to Total Traffic Conditions**

The intersection of Summit Way and McMillan Road functions at an acceptable level of service under total traffic conditions. No improvements are required.

The intersection of Meridian Road and Halpin Drive functions at an acceptable level of service under total traffic conditions. No improvements are required.

McMillan Road will operate above the vehicle threshold for LOS D, the recommended level of service for a minor arterial roadway. The roadway will need to be widened to three lanes to meet the threshold of LOS D.

### **On-site Traffic**

The internal roadway system of the proposed development will allow for good site circulation and good connectivity to other developments. None of the roadways will exceed a daily volume of 1,000 vpd except for roads that connect to the transportation system directly.

## CONCLUSIONS

This study identifies transportation impacts associated with the proposed Whiteacre Subdivision in Meridian, Idaho. The development is a residential development. Below are the findings of this report:



- Based on the trip generation methods recommended in the Trip Generation Manual, the site will generate 1875 trips per day, of which 147 trips will occur during the AM peak hour and 197 trips will occur during the PM peak hour.
- The site will access the transportation system primarily via Meridian Road. The site will also connect to existing stub roads which will also provide access to the transportation system
- The intersection of McMillan Road and Summit Way will operate at acceptable levels of service under background and total traffic conditions in the build out year. The critical peak hour is in the PM peak hour.
- The intersection of Meridian Road and Halpin Drive will operate at acceptable levels of service under background and total traffic conditions in the build out year. The critical peak hour is in the PM peak hour.
- Meridian Road is expected to operate at an acceptable better than LOS E in the build out year based on the ACHD policy for primary arterial roads.
- McMillan Road is operating at worse than LOS D under existing traffic conditions on the ACHD policy for minor arterial roads. McMillan Road will need to be widened to three lanes to operate at LOS D or better. With three lanes, McMillan Road will operate at LOS D or better under total traffic conditions.
- The proposed site plan provides good circulation and good connectivity to other developments.
- The site approach on Meridian Road will align with Halpin Drive, and is in conformance with ACHD access standards. A left turn lane is warranted. A right turn lane is not warranted/
- A left turn lane is not warranted on westbound McMillan Road at the intersection with Summit Way. This project does not contribute traffic to that movement. In fact, by providing alternative access, it is anticipated that the left turn volume will actually decrease. This project contributes about 1.5% more traffic to the intersection.



Mitch Armuth  
Providence Properties, Inc.  
701 South Allen Street  
Meridian, Idaho 83642

February 10, 2016  
Page 1 of 25  
Report 16043A

Re: Geotechnical Recommendation Report  
Geile Property / Whiteacres Subdivision  
4015, 4273 & 4399 North Meridian Road  
Meridian, Idaho

Mitch:

As per your authorization, on February 3, 2016 SITE Consulting, LLC observed the excavation of four test pits on the referenced property. The test pit locations were selected by this engineer based on the preliminary plan you provided. Test pits were excavated to depths of up to thirteen feet below the existing ground surface. At this depth, additional excavation was either not required or not possible due to sloughing soils. Groundwater was encountered in all of the test pits and currently is 11 to 12 feet below the exiting ground surface at the south end of the subject property. The former property owner (Geile) reported that groundwater is 15 feet deep at his residence in the northwest corner of the property. Test Pit Logs have been prepared and are attached.

Based on the observed conditions, the property is acceptable from a geotechnical perspective for development as a residential subdivision. Single family residences can be constructed using standard construction methods. Conventional strip foundations and either crawlspace or slab on grade floor systems are acceptable. Foundations are to be designed based upon bearing pressures of up to 1500 psf on the native soils or structural fill extending to the native soils.

Recommendations for foundation construction, earthwork, pavement design and storm water disposal are included herein. We appreciate this opportunity to be of service. Should you have any questions or require additional information, please contact our office at your convenience.

Respectfully submitted;  
Bob J. Arnold, PE





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## INTRODUCTION

### **Purpose and Scope**

This report presents a preliminary geotechnical investigation and resulting recommendations for a proposed subdivision to be constructed on three adjacent parcels located at 4399, 4273 and 4015 North Meridian Road in Meridian, Idaho. This assessment was performed on Ada County Parcel numbers S0436141850, S0436141950 and S0435142200. According to the Ada County Assessor's website, these parcels total just over 40 acres. It is understood that the former owner will retain the home and a surrounding parcel in the northwest corner of the property.

The purpose of this investigation was to evaluate the subsurface soil conditions and provide recommendations for building single family residential structures. It is noted that since the farm fields are planted, test pits were only excavated in the southeast corner of the property where phase one of the proposed subdivision will be constructed. It is anticipated that these test pits represent conditions across the site. Additional test pits will need to be excavated as future phases are submitted to ACHD for review and approval. This field investigation included subsurface exploration by means of a backhoe type excavator. Soil samples were gathered and test pit logs generated by our project engineer. Selected soil samples were submitted to our in house soil laboratories for testing. After the field investigation and laboratory testing was completed, all available field and laboratory test data was reviewed, the general data and assumed design information was evaluated, and this report was prepared. This report summarizes our research and recommendations regarding the geotechnical aspects of the project.



## **Authorization**

Authorization to proceed with this geotechnical investigation was received from the client on or about December 8, 2015. Authorization to proceed and the use of the provided recommendations indicate the client's and the design team's acceptance of the scope of work, warranty, limitations & general conditions provided herein and within our standard geotechnical proposal.

## **Warranty and Limitations**

The exploration and evaluation of subsurface conditions documented herein is considered sufficient to form a basis for the provided recommendations. The provided recommendations are based on the available soil information and preliminary design details either assumed or furnished by the client and his civil design team. It is warranted that these recommendations have been promulgated after being prepared in accordance with locally accepted professional engineering and geotechnical engineering practice. No other warranties are implied or expressed.



## RESEARCH & BACKGROUND

### General

As per your request, on February 3, 2016, this engineer observed the excavation of four test pits on the subject property. The property was accessed from Meridian Road near the residence at 4015 North Meridian Road. Phase one of this subdivision will gain access directly across Meridian Road from East Halpin Drive.

At the time of our investigation the property included a single family residence in the southeast corner of the property that will be removed as a part of Phase One development. It is understood that this structure and the adjacent garage/shed structure are to be demolished as a part of this project. A second residence and outbuildings located at 4273 North Meridian Road will also be demolished for future phases of the planned subdivision. Historically the property has been planted farmland.

### Vicinity Map

Prior to our field investigation, an aerial photo of the subject property was obtained from the Ada County Assessors website. This photo was used to locate the subject property and identify the three included parcels. As can be seen in the aerial photo, the subject property is surrounded on all sides by residential developments similar to the development planned for this property. Stub streets from the subdivisions to the south, north and west will be continued into the proposed development.



From Ada County Assessor Website



## Field Investigation

Four test pits were excavated at the selected locations to explore subsurface conditions and evaluate their consistency. Rocky Top Construction of Boise, Idaho supplied the standard backhoe and operator. Our staff gathered representative samples from the spoil piles during excavation. The samples were field classified, labeled with pit number and depth, and transported to the laboratory for additional testing. Sieve Analysis, Moisture Content, and Liquid Limit, Plastic Limit & Plasticity Index testing were performed on selected samples. After excavation of the four test pits, a sample of the subgrade soil was gathered and sent to a specialty testing laboratory for R-Value Testing. All tests were performed in general accordance with the appropriate ASTM test methods.

In Test pit location TP-4 two test pits were excavated. The first was excavated to gather samples and determine the depth to the groundwater. A monitoring well was installed in this and the other three locations. After this pit was backfilled, an adjacent test pit was excavated for testing the percolation rate of the shallow soils. This test pit was excavated to approximately nine feet deep and measured seven feet wide at one end, six feet wide at the other and was 13 feet long. On February 4, 2016, 2.5 feet of water was placed in the bottom of the test pit. On February 5, 2016 water was again added to a depth of 2.5 feet. The following measurements were taken:

Test Location	Time	Depth To Water	Interval (Hours)	Drop (Inches)	Perc Rate
TP-4	2.08	8' 0"			
	2.58	8' 3"	0.5	3.0"	6"/hr
	3.08	8' 6"	1.0	6.0"	6"/hr
REFILLED	TEST PIT				
	3.50	8' 0"			
	3.75	8' 2"	0.25	2.0"	8"/hr
	4.00	8' 3.5"	0.5	3.5"	7"/hr

It is noted that the method describe above is conservative due to the accumulation of silts at the bottom of the test pit. Therefore a reasonable safety factor is 25%. For this Phase of the project SITE recommends a design percolation rate of 4.5 inches/hour. It is recommended that this be confirmed at the time of construction in the presence of ACHD personnel.



**Observed Subsurface Conditions**

At the time of our investigation, the site surface was frozen and therefore firm and stable. The surface supported the excavation equipment without rutting or deflection. Subsurface conditions in the four test pits were generally similar. The site is overlain with a brown, moist, lean clay that varies in thickness from 3.0-4.5 feet. The surface of the site has historically been cultivated to an average depth of approximately one foot. Organic materials (former corn crop) were present on the surface. In three of four test pit, a thin ( $\pm 6''$ ) layer of weak hardpan was present. This layer was atop a weakly cemented silt or sandy silt that extends to the native gravels. Gravels were contacted in all test pits except TP-4 at 5.0-5.5 feet. TP-4 had no hardpan layer and gravels were shallower at three feet deep. In all four test pits the top of the gravels contained silt, clay and minor cementing. Free draining conditions were typically reached at two feet below gravel contact. Pitrun type sand and gravels extend to greater depths than all of our test pits. Groundwater was contacted in each location at 11 to 12 feet below the ground surface. Monitoring wells were installed in the four test pits and the water levels measured on February 10, 2016. Depths to groundwater are as follows:

Location	TP-1	TP-2	TP-3	TP-4
Casing Height	2.9'	3.5'	5.4'	2.4'
Casing Length	14.4	15.3	15.0	14.6
Depth to Water				
02/10/16	11.0'	10.1'	9.2'	11.0'

It is assumed that wells near the two homes to be demolished will soon be available for groundwater monitoring. These will be added to future monitoring schedule. Since limited groundwater data is currently available well logs were reviewed on the Idaho Department of Water Resources website. Logs for two wells on the subject property and two wells to the north were identified. All logs are included in the Appendix and indicate that groundwater was 15-20 feet at the time of well drilling. This engineer also contacted Brown Excavation concerning current work at NW corner of McMillan and Meridian Road. Brown reported groundwater at 18 feet at Paramount Square Sub.



## DESIGN & CONSTRUCTION RECOMMENDATIONS

### General Earthwork

All native soils, that are free of organic matter and expansive clays are acceptable for use as fill. After proper grubbing, the native silts, lean clay, and elastic silts removed from the street, driveway and parking lot areas can be utilized as structural fill to backfill demolished buildings or within the proposed building pads. Removal of the majority of the organic materials will require grubbing of 2-4 inches of surface soils. This is required in all areas to receive structural fill. Deeper excavation may be required along the property boundaries where trees & bushes are present and along irrigation ditches. The depth of grubbing is to be adjusted and inspected during construction to ensure that organic materials are properly removed from beneath future pavements and structural fills.

If used for fill, the surface clay soils will require moisture contents within two percent of optimum for effective compaction. These soils will easily become too wet or too dry for effective compaction and can be expected to perform poorly if wet and subjected to rubber tired equipment. If construction is to occur during wet weather or wet surface soil conditions, low-pressure, (tracked), construction equipment is recommended. Rutting caused by the contactor using rubber-tired equipment on a wet subgrade can be expected and should be repaired at contractor expense. This information is to be supplied to earthwork contractors prior to construction.

Structural fills less than three feet deep are to be compacted to 95 % of the maximum dry density by ASTM D698, Standard Proctor. For deeper fills, such as ditch backfill and fill intended to contain rerouted irrigation canals or storm water runoff, fill materials are to be compacted to 100 % of the maximum dry density. If structural fill is to be placed on residential lots, the fill is to extend laterally outside foundations a distance equal to the depth of structural fill. Structural fill should be placed in uniform, thin horizontal lifts, moisture conditioned as necessary, and compacted to the above requirements. Compaction testing to confirm proper compaction is recommended.



## **Demolition**

After clearing and grubbing and demolition of existing buildings, it should be confirmed by the project civil or geotechnical engineer or retained testing and inspection firm that all organic materials and concrete is removed. Any onsite wells or septic tanks are to be abandoned as per IDWR and IDEQ requirements. Well should be saved for groundwater monitoring and abandoned at the time of construction.

## **Excavations**

Shallow excavations and trenches that do not exceed four feet in depth may be constructed with side slopes approaching vertical. Below this depth it is recommended that slopes not exceed a vertical to horizontal ratio of one to one. The ability of soils on site to maintain a vertical or near vertical excavation over any extended period can be quite variable.

This information is provided for planning purposes. It is our opinion that maintaining safe working conditions is the responsibility of the contractor. Jobsite conditions such as soil moisture content, weather condition, earth movements and equipment type and operation can all affect slope stability. All excavations should be sloped or braced as required by applicable local, state, and federal requirements.



## Pavement Section

An R-Value sample was gathered and sent to a specialty soils lab for analysis. When results are provided pavement sections will be confirmed. It is anticipated that the R-Value will be approximately R = 5. For planning purposes a pavement section has been calculated based upon an assumed R-Value of R=5 and a Traffic Index of TI=6. Based upon this data the following pavement sections are recommended for driveway and parking areas.

Material Layer	Thickness
HMA Pavement	2.5"
Base Coarse (¾" minus)	4.0"
Sub base (Pitrun)	12.0"

It is noted, that it is common for the local jurisdiction to require a standard design or to match the existing pavement section when working on collectors or arterials such as Meridian Road. Therefore ACHD should be consulted concerning construction in the Meridian Road right of way. If ACHD will provide a traffic index, a subgrade sample can be obtained and recommended pavement sections for Meridian Road provided. Materials meeting the requirements of ISPWC & / or ACHD are required for any work within this project.

## Foundation System

The proposed single family residential structures may be supported on conventional, continuous, and isolated pad foundations founded upon the native soils or upon structural fill extending to these soils. Based upon proper placement and compaction of structural fill, bearing pressures of up to 1500 psf are allowed for foundations founded on the native soils or upon properly placed and compacted structural fill. Either crawlspaces or slab on grade floors are acceptable. If fat clays are present at the foundation support elevation a geotechnical engineer should be retained for site specific recommendations.



## **Slab on Grade Concrete**

Care must be taken so that all excavations below both interior and exterior slab on grade concrete are properly backfilled in accordance with the structural fill recommendations. This is critical where a slab will extend over utility trenches or retaining wall backfill. Trenches and wall backfill areas are to be filled in lifts and benched each lift so that fill is not placed against a vertical soil face greater than three feet tall. Testing is to confirm that compaction has been achieved. Areas of excessive yielding should be excavated and backfilled with structural fill. Any fill used to increase the elevation of slab on grade concrete should meet the requirement for structural fill. Slab on grade floors, sidewalks and pavements should be placed atop a mat of at least 0.5 feet of granular structural fill materials. This depth is to increase to one foot when concrete is to be placed over fat clays soils. This is required to prevent seasonal heaving of sidewalks, patios, and driveways. Mat material should all pass a 3/4 inch sieve and should contain less than seven percent passing the # 200 sieve. The mat shall be compacted to the requirement for structural fill. All slabs should be suitably reinforced to make them as rigid as possible. Proper joints should be provided at the junctions of the slab and foundation system so that independent movement can occur without causing damage.

## **Storm Water**

It is recommended that storm runoff be directed away from all open excavations and not be allowed to puddle on subgrade soils. Based upon the anticipated depth to groundwater and the presence of pitrun type soils, storm water can be disposed of in infiltration trenches that extend to the free draining native pitrun type sands and gravels. Based upon the test pits, silt free, sand and gravel materials are present at approximately eight feet below the existing ground surface. No percolation rate in excess of the previously recommended  $P = 4.5$  inch/hour is to be used for design. Extension to silt free, non-cemented, sand and gravels is to be confirmed at the time of construction.



## **Underground Utilities**

It is not anticipated that large excavators or small backhoes will experience any difficulties excavating the onsite materials encountered on the property. No bedrock formation or shallow groundwater was encountered on the subject property. Well logs and monitoring wells indicates the static water level is 12-15 feet below the surface. Contactors can confirm this in the onsite wells prior to construction.

## **Inspection & Testing**

Inspection should confirm removal of all foundation and slab concrete from demolition of onsite buildings. A qualified engineer or his representative should monitor fill placement to ensure the work is performed in accordance with these recommendations. Testing should be performed in accordance with ASTM Test Methods D3017-88 and D2922-91 (nuclear densometer). For mass filling, field nuclear moisture - density testing shall be performed on each lift of compacted fill for every 5000 square feet of surface area. Trench backfill and right of ways are to be tested to ISPWC requirements. It is noted that structural fill can pass compaction tests and still be unacceptable if pumping, rutting, or deflecting under vehicle or foot traffic.

## **Contractor Inspections**

This report has been prepared with the intent to provide specific design information to the developer and the civil engineering consultant. It is not intended to act as any contractors "Due Diligence" or subsurface inspection prior to estimating construction costs or actual construction.



## **General Comments**

After the plans and specifications for construction are completed, it is recommended that this consultant be provided the opportunity to review the final design and specifications. This review will confirm that the earthwork recommendations have been properly interpreted and implemented. At that time, it may be necessary to submit supplementary recommendations. This review is a part of this service and will not result in additional invoicing unless additional research and recommendations are needed.

Testing and inspection services are recommended herein. Proper quality control during construction is required to confirm materials and methods and thereby obtain a desirable finished product. Monitoring and testing should also be performed to verify suitability of materials used for structural fills and to confirm proper demolition, subgrade grubbing, subgrade stability, and proper placement and compaction of fills. Any deviations from the herein described subsurface conditions must be brought to the attention of this consultant.

This report has been prepared for the exclusive use of the client and their retained design consultants. Findings and recommendations within this report are for specific application to the proposed construction described herein and apply only to the property identified. Client may duplicate this report as needed or additional copies will be provided upon proper client authorization.

**Appendix Follows**



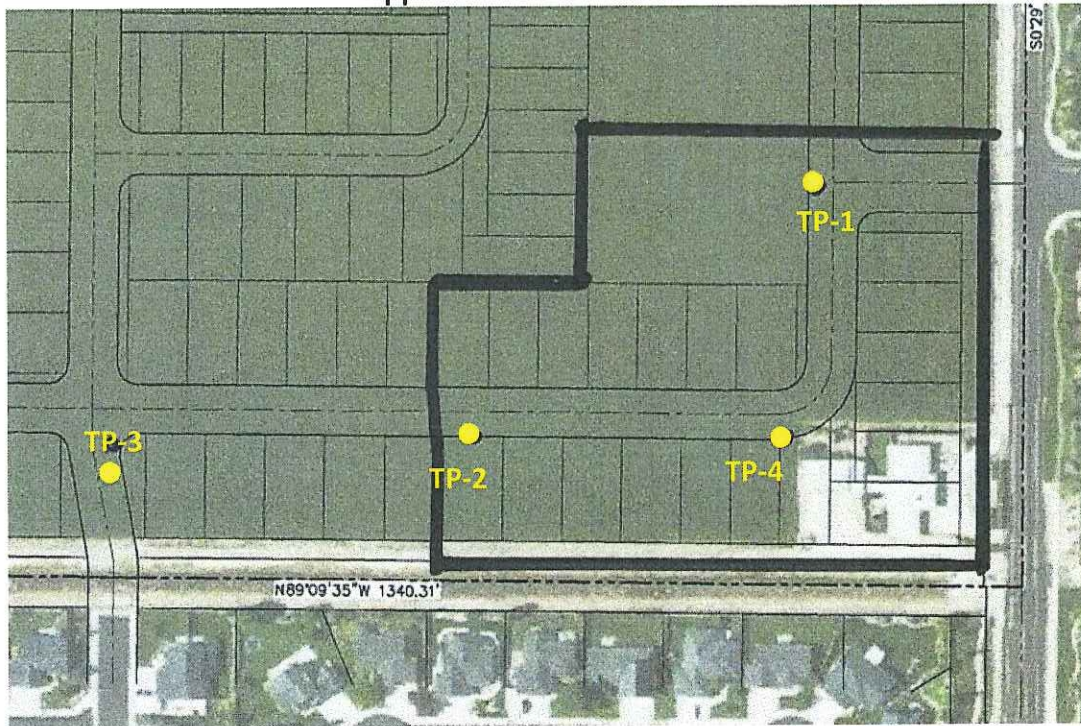
## APPENDIX

Phase 1 - Site Plan  
Aerial Photo with Test Pit Locations  
Test Pit Logs (4)  
Well Log (2)  
Soil Log Legend  
Abbreviations & Acronyms



## PHASE ONE - SITE PLAN

Approximate Test Pit Location

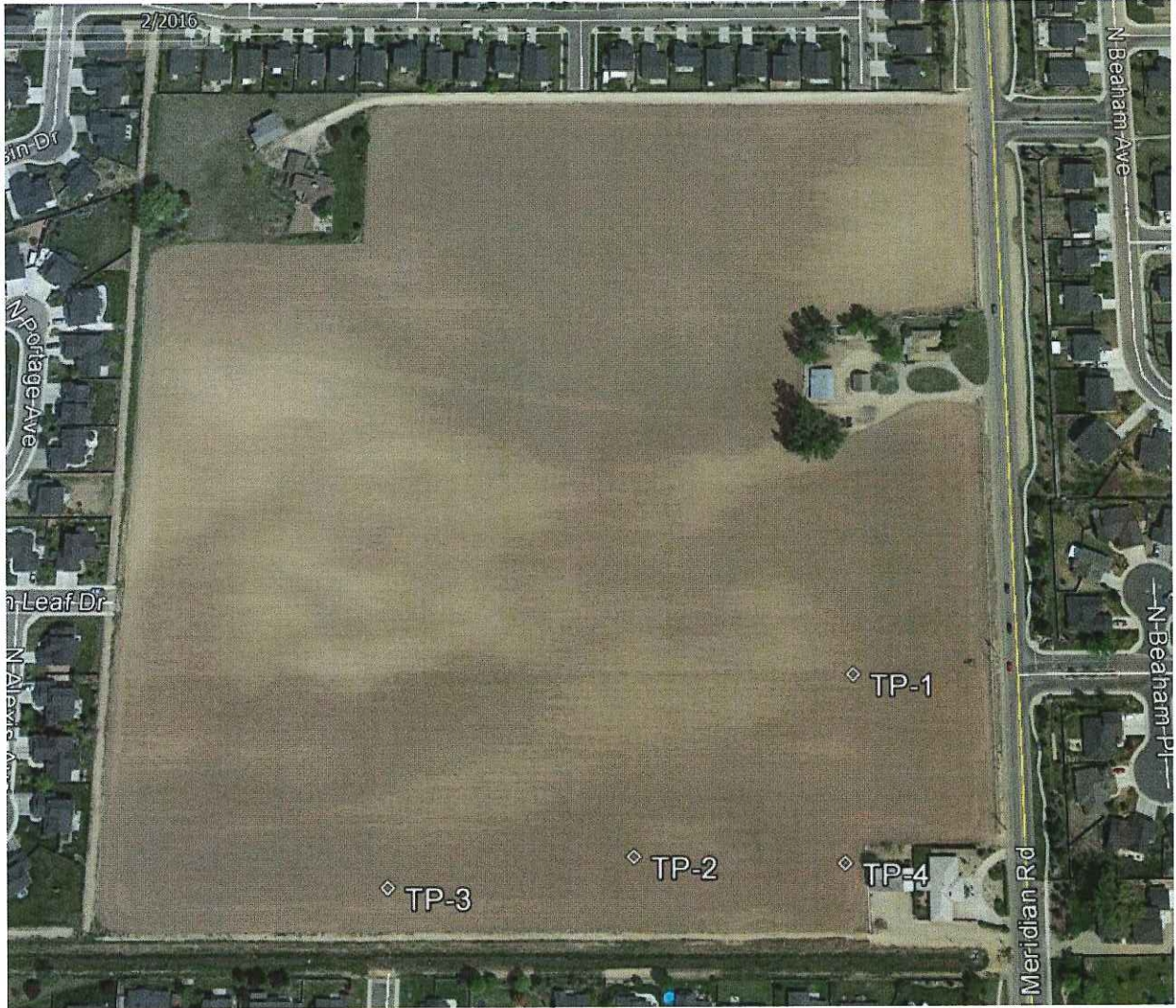


TP-1	In Halpin Drive Right of Way
TP-2 & TP-4	In Yosemite Street Right of Way Both ends of Infiltration Trench
TP-3	In Elsinore Way Right of Way near future Noures Lateral Crossing



**AERIAL PHOTO**

**Approximate Test Pit Location**



**Locations by Cell Phone GPS and Google Earth**



**TEST PIT LOG**

Test Pit #:	<u>TP-1</u>	File :	<u>16043A</u>
Client:	<u>Providence</u>	Date Excavated:	<u>1/3/16</u>
Project:	<u>Geile Property</u>	Excavated By:	<u>Rocky Top Const.</u>
Location:	<u>43 38 31.7N 116 23 40.0W</u>	Logged By:	<u>B. Arnold</u>

DEPTH	SOILS DESCRIPTION								Sample Type / Depth			
	1.0"	3/4"	1/2"	3/8"	#4	#10	#40	#100	#200	%M	LL	PI
0.0-3.0	Brown, Moist, Sandy, Lean Clay (CL) with corn stubble, Cultivated depth =1'								Bag / 2.0			
					100	99	92	73	57.6	23.0	32	12
3.0-3.5	Light Brown, Moist, Cemented, Silt, HARDPAN								Not Sampled			
3.5-5.0	Light Brown, Moist, Weakly Cemented, Sandy, SILT								Bag / 4.0			
					100	99	97	85	39.6	18.5	NP	NP
5.0	GRAVEL CONTACT								Not Sampled			
5.0-7.0	Pitrun sand and gravel with silt and minor cementing								Not Sampled			
7.0-12.5	Brown, Moist, Free Draining, PITRUN Type, sand and gravel (Typically 6-8" Minus but Rock to 16")								Not Sampled			
12.5	Bottom of Hole, Sloughing Soils, Groundwater at 12.0' Well Installed.											



**TEST PIT LOG**

Test Pit #:	<u>TP-2</u>	File :	<u>16043A</u>
Client:	<u>Providence</u>	Date Excavated:	<u>1/3/16</u>
Project:	<u>Geile Property</u>	Excavated By:	<u>Rocky Top Const.</u>
Location:	<u>43 38 29.1N 116 22 44.4W</u>	Logged By:	<u>B. Arnold</u>

DEPTH	SOILS DESCRIPTION								Sample Type / Depth			
	1.0"	3/4"	1/2"	3/8"	#4	#10	#40	#100	#200	%M	LL	PI
0.0-2.5	Brown, Moist, Sandy, Lean Clay (CL) with corn stubble, Cultivated depth =1'								Bag / 2.0			
					100	93	75	62.8	25.6	32	10	
2.5-3.0	Light Brown, Moist, Cemented, Silt, HARDPAN								Not Sampled			
3.0-5.0	Light Brown, Moist, Weakly Cemented, SILT (Cemented Pieces in sieves)								Bag / 4.0			
		100	98	59	28	21	13	6	3.2	15.4	VNP	VNP
5.0	GRAVEL CONTACT								Not Sampled			
5.0-7.5	Pitrun sand and gravel with silt and minor cementing								Not Sampled			
7.0-12.0	Brown, Moist, Free Draining, PITRUN Type, sand and gravel (Typically 6-8" Minus but Rock to 18")								Not Sampled			
12.0	Bottom of Hole, Sloughing Soils, Groundwater at 12.0' Well Installed.											



**TEST PIT LOG**

Test Pit #:	<u>TP-3</u>	File :	<u>16043A</u>
Client:	<u>Providence</u>	Date Excavated:	<u>1/3/16</u>
Project:	<u>Geile Property</u>	Excavated By:	<u>Rocky Top Const.</u>
Location:	<u>43 38 28.7N 116 23 49.2W</u>	Logged By:	<u>B. Arnold</u>

DEPTH	SOILS DESCRIPTION								Sample Type / Depth			
	1.0"	3/4"	1/2"	3/8"	#4	#10	#40	#100	#200	%M	LL	PI
0.0-3.5	Brown, Moist, Sandy, Lean Clay (CL) with corn stubble, Cultivated depth =1'								R-Value Sample 1.0-2.0'			
					100	97	84	68.7	24.6	32	11	
3.5-4.0	Light Brown, Moist, Cemented, Silt, HARDPAN								Not Sampled			
4.0-5.5	Light Brown, Moist, Weakly Cemented, Sandy, SILT								Bag / 4.5			
			100	98	97	97	83	64	41.1	16.8	NP	NP
5.5	GRAVEL CONTACT								Not Sampled			
5.5-6.5	Pitrun sand and gravel with silt and minor cementing								Not Sampled			
6.5-12.5	Brown, Moist, Free Draining, PITRUN Type, sand and gravel (Typically 6-8" Minus but Rock to 12")								Not Sampled			
12.5	Bottom of Hole, Sloughing Soils, Groundwater at 11.0' Well Installed.											



**TEST PIT LOG**

Test Pit #:	<u>TP-4</u>	File :	<u>16043A</u>
Client:	<u>Providence</u>	Date Excavated:	<u>1/3/16</u>
Project:	<u>Geile Property</u>	Excavated By:	<u>Rocky Top Const.</u>
Location:	<u>43 38 29.4N 116 23 40.3W</u>	Logged By:	<u>B. Arnold</u>

DEPTH	SOILS DESCRIPTION								Sample Type / Depth			
	1.0"	3/4"	1/2"	3/8"	#4	#10	#40	#100	#200	%M	LL	PI
0.0-1.0	Brown, Moist, Sandy, Lean Clay with corn stubble, Cultivated depth =1'								Not Sampled			
1.0-3.0	Brown, Moist, Weakly Cemented, SILT								Bag / 2.0			
					100	99	79	67.7	24.8	NP	NP	
3.0	GRAVEL CONTACT								Not Sampled			
3.0-8.0	Pitrun sand and gravel with silt and minor cementing								Not Sampled			
8.0-12.5	Brown, Moist, Free Draining, PITRUN Type, sand and gravel (Typically 6-8" Minus but Rock to 12")								Not Sampled			
12.5	Bottom of Hole, Sloughing Soils, Groundwater at 11.0' Well Installed.											



WELL LOGS FOR ADJACENT PROPERTIES

63

858423

Form 238-7  
6/07

IDAHO DEPARTMENT OF WATER RESOURCES  
WELL DRILLER'S REPORT

1. WELL TAG NO. D 0056098  
Drilling Permit No. 63-92-C-080

2. OWNER:  
Name: Randall Geile  
Address: 4399 N Meridian RD  
City: Meridian State: Id Zip: 83646

3. WELL LOCATION:  
Twp. 4 North or South Rge. 1 East or West  
Sec. 36 NW 1/4 S/E 1/4 N/E 1/4  
Gov't Lot County Ada  
Lat. 43 38.669 (Deg. and Decimal minutes)  
Long. 116 23.879 (Deg. and Decimal minutes)  
Address of Well Site 4399 N Meridian RD  
City Meridian ID

4. USE:  
 Domestic  Municipal  Monitor  Irrigation  Thermal  Injection  
 Other

5. TYPE OF WORK:  
 New well  Replacement well  Modify existing well  
 Abandonment  Other 63-92-C-008D-000

6. DRILL METHOD:  
 Air Rotary  Mud Rotary  Cable  Other

7. SEALING PROCEDURES:

Seal material	From (ft)	To (ft)	Quantity (lbs or ft <sup>3</sup> )	Placement method/procedure
seal not				seal not disturbed
disturbed				

8. CASING/LINER:

Diameter (nominal)	From (ft)	To (ft)	Gauge/Schedule	Material	Casing	Liner	Threaded	Welded
6"	56	138	.250	steel	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5"	143	145	.258	steel	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Was drive shoe used?  Y  N Shoe Depth(s)

9. PERFORATIONS/SCREENS:  
Perforations  Y  N Method  
Manufactured screen  Y  N Type 15 slot Johnson  
Method of installation bail in

From (ft)	To (ft)	Slot size	Number	Diameter (nominal)	Material	Gauge or Schedule
138	143	15		5"	stainless	250

Length of Headpipe 80 ft Length of Tailpipe 2ft of concrete  
Packer  Y  N Type 6" centered in hole but no packer

10. FILTER PACK:

Filter Material	From (ft)	To (ft)	Quantity (lbs or ft <sup>3</sup> )	Placement method

11. FLOWING ARTESIAN:  
Flowing Artesian?  Y  N Artesian Pressure (PSIG)  
Describe control device

12. STATIC WATER LEVEL and WELL TESTS:  
Depth first water encountered (ft) Static water level (ft) 15'  
Water temp. (°F) Bottom hole temp. (°F)  
Describe access port same well cap

Well test: Test method:

Drawdown (feet)	Discharge or yield (gpm)	Test duration (minutes)	Pump	Bailer	Air	Flowing artesian
50'	50+	1 hr	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Water quality test or comments:  
13. LITHOLOGIC LOG and/or repairs or abandonment:

Bore Dia. (in)	From (ft)	To (ft)	Remarks, lithology or description of repairs or abandonment, water temp.	Water	
				Y	N
6"	122	145	tan sand	X	
	145	145	clay		
			well was filled to 72' when I arrived		
			I bailed well to 120' then ran casing/screens to 145'		
			I placed a concrete plug from 143' to 145'		
			see original well log for more info		

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WATER RESOURCES  
WESTERN REGION

Completed Depth (Measurable) 143  
Date Started: Jan 18, 2010 Date Completed: Jan 20, 2010

14. DRILLER'S CERTIFICATION:  
I/We certify that all minimum well construction standards were complied with at the time the rig was removed.

Company Name Nu Acre Drilling LLC Co. No. 701  
\*Principal Driller *David McS...* Date 1-20-10  
\*Driller \_\_\_\_\_ Date \_\_\_\_\_  
\*Operator II \_\_\_\_\_ Date \_\_\_\_\_  
Operator I \_\_\_\_\_ Date \_\_\_\_\_  
\* Signature of Principal Driller and rig operator are required.

# SITE CONSULTING, LLC

Form 238-7  
4/92

STATE OF IDAHO  
DEPARTMENT OF WATER RESOURCES  
**WELL DRILLER'S REPORT**

USE TYPEWRITER OR  
BALLPOINT PEN

State law requires that this report be filed with the Director, Department of Water Resources  
within 30 days after the completion or abandonment of the well.

<p><b>1. WELL OWNER</b></p> <p>Name <u>RANDALL &amp; PAM GEILE</u>          Address <u>4273 N MERIDIAN ROAD</u>          Drilling Permit No. <u>63-92-C-080</u>          Water Right Permit No. _____</p>	<p><b>7. WATER LEVEL</b></p> <p>Static water level <u>20</u> feet below land surface.          Flowing? <input type="checkbox"/> Yes <input type="checkbox"/> No G.P.M. flow _____          Artesian closed-in pressure _____ p.s.i.          Controlled by: <input type="checkbox"/> Valve <input type="checkbox"/> Cap <input type="checkbox"/> Plug          Temperature _____ °F. Quality _____  <small>Describe artesian or temperature zones below.</small></p>																																																																																								
<p><b>2. NATURE OF WORK</b></p> <p><input checked="" type="checkbox"/> New well <input type="checkbox"/> Deepened <input type="checkbox"/> Replacement  <input type="checkbox"/> Well diameter increase <input type="checkbox"/> Modification  <input type="checkbox"/> Abandoned (describe abandonment or modification procedures such as liners, screen, materials, plug depths, etc. in lithologic log, section 9.)</p>	<p><b>8. WELL TEST DATA</b></p> <p><input type="checkbox"/> Pump <input type="checkbox"/> Bailor <input type="checkbox"/> Air <input type="checkbox"/> Other _____</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Discharge G.P.M.</th> <th>Pumping Level</th> <th>Hours Pumped</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>	Discharge G.P.M.	Pumping Level	Hours Pumped																																																																																					
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<p><b>3. PROPOSED USE</b></p> <p><input checked="" type="checkbox"/> Domestic <input type="checkbox"/> Irrigation <input type="checkbox"/> Monitor  <input type="checkbox"/> Industrial <input type="checkbox"/> Stock <input type="checkbox"/> Waste Disposal or Injection  <input type="checkbox"/> Other _____ (specify type)</p>	<p><b>9. LITHOLOGIC LOG</b> <span style="float: right;">082714</span></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th rowspan="2">Bore Diam.</th> <th colspan="2">Depth</th> <th rowspan="2">Material</th> <th colspan="2">Water</th> </tr> <tr> <th>From</th> <th>To</th> <th>Yes</th> <th>No</th> </tr> </thead> <tbody> <tr> <td>8</td> <td>0</td> <td>8</td> <td>TOP SOIL/HARD PAN</td> <td></td> <td>X</td> </tr> <tr> <td>8</td> <td>8</td> <td>26</td> <td>SAND/ GRAVEL</td> <td></td> <td>X</td> </tr> <tr> <td>6</td> <td>26</td> <td>29</td> <td>CLAY</td> <td></td> <td>X</td> </tr> <tr> <td></td> <td>29</td> <td>35</td> <td>SAND</td> <td></td> <td>X</td> </tr> <tr> <td></td> <td>35</td> <td>42</td> <td>SANDY CLAY</td> <td></td> <td>X</td> </tr> <tr> <td></td> <td>42</td> <td>45</td> <td>SAND</td> <td></td> <td>X</td> </tr> <tr> <td></td> <td>45</td> <td>55</td> <td>SANDY CLAY</td> <td></td> <td>X</td> </tr> <tr> <td></td> <td>55</td> <td>76</td> <td>SAND</td> <td></td> <td>X</td> </tr> <tr> <td></td> <td>76</td> <td>80</td> <td>SANDY CLAY</td> <td></td> <td>X</td> </tr> <tr> <td></td> <td>80</td> <td>105</td> <td>SAND</td> <td></td> <td>X</td> </tr> <tr> <td></td> <td>105</td> <td>116</td> <td>CLAY</td> <td></td> <td>X</td> </tr> <tr> <td></td> <td>116</td> <td>120</td> <td>SANDY CLAY</td> <td></td> <td>X</td> </tr> <tr> <td></td> <td>120</td> <td>122</td> <td>SAND</td> <td></td> <td>X</td> </tr> </tbody> </table>	Bore Diam.	Depth		Material	Water		From	To	Yes	No	8	0	8	TOP SOIL/HARD PAN		X	8	8	26	SAND/ GRAVEL		X	6	26	29	CLAY		X		29	35	SAND		X		35	42	SANDY CLAY		X		42	45	SAND		X		45	55	SANDY CLAY		X		55	76	SAND		X		76	80	SANDY CLAY		X		80	105	SAND		X		105	116	CLAY		X		116	120	SANDY CLAY		X		120	122	SAND		X
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<p><b>4. METHOD DRILLED</b></p> <p><input checked="" type="checkbox"/> Rotary <input checked="" type="checkbox"/> Air <input type="checkbox"/> Auger <input type="checkbox"/> Reverse rotary  <input type="checkbox"/> Cable <input type="checkbox"/> Mud <input type="checkbox"/> Other _____ (backhoe, hydraulic, etc.)</p>	<p><b>10.</b></p> <p>Work started <u>9/29/92</u> finished <u>9/29/92</u></p>																																																																																								
<p><b>5. WELL CONSTRUCTION</b></p> <p>Casing schedule: <input checked="" type="checkbox"/> Steel <input type="checkbox"/> Concrete <input type="checkbox"/> Other _____</p> <p>Thickness <u>2 1/2</u> inches Diameter <u>8</u> inches From _____ feet To <u>106</u> feet</p> <p>Was casing drive shoe used? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No          Was a packer or seal used? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No          Perforated? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No          How perforated? <input type="checkbox"/> Factory <input type="checkbox"/> Knife <input type="checkbox"/> Torch <input type="checkbox"/> Gun          Size of perforation? _____ inches by _____ inches</p> <p>Number _____ From _____ to _____          _____ perforations _____ feet _____ feet          _____ perforations _____ feet _____ feet          _____ perforations _____ feet _____ feet</p> <p>Well screen installed? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No          Manufacturer _____ Type _____          Top Packer or Headpipe _____          Bottom of Tailpipe _____</p> <p>Diameter _____ Slot size _____ Set from _____ feet to _____ feet          Diameter _____ Slot size _____ Set from _____ feet to _____ feet          Gravel packed? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Size of gravel _____          Placed from _____ feet to _____ feet</p> <p>Surface seal depth <u>20</u> Material used in seal: <input type="checkbox"/> Cement grout  <input checked="" type="checkbox"/> Bentonite <input type="checkbox"/> Pudding clay <input type="checkbox"/> _____          Sealing procedure used: <input type="checkbox"/> Slurry pit  <input checked="" type="checkbox"/> Temp. surface casing <input checked="" type="checkbox"/> Overbore to seal depth          Method of joining casing: <input type="checkbox"/> Threaded <input checked="" type="checkbox"/> Welded  <input type="checkbox"/> Solvent Weld <input type="checkbox"/> Cemented between strata</p> <p>Describe access port _____</p>	<p><b>11. DRILLER'S CERTIFICATION</b></p> <p>We certify that all minimum well construction standards were followed with at the time the rig was removed.</p> <p><b>DAVIS WELL &amp; PUMP CO.</b> Firm No. <u>101</u>          418 N. PITT LANE          AMMANA, IDAHO 83207 Date <u>3-8-93</u>          Signed by Drilling Supervisor <u>Chuck Davis</u>          and _____          (Operator) _____  <small>(If different than the Drilling Supervisor)</small></p>																																																																																								
<p><b>6. LOCATION OF WELL</b></p> <p>Sketch map location must agree with written location.</p> <p>Subdivision Name _____          Lot No. _____ Block No. _____          County <u>ADA</u>          Address of Well Site <u>Same</u>  <small>(give at least name of road)</small></p> <p><u>SE</u> 1/4 <u>NE</u> 1/4 Sec. <u>36</u> T. <u>4</u> N. <u>W</u> or S <u>W</u>          R. <u>1</u> E <input type="checkbox"/> or W <input checked="" type="checkbox"/></p>	<p><b>11. DRILLER'S CERTIFICATION</b></p> <p><b>MICROFILMED</b>          AUG 09 1993</p>																																																																																								

**RECEIVED**

MAR 10 1993

Department of Water Resources  
Western Regional Office

USE ADDITIONAL SHEETS IF NECESSARY — FORWARD THE WHITE COPY TO THE DEPARTMENT

# SITE CONSULTING, LLC

Form 238-7  
8/90

STATE OF IDAHO  
DEPARTMENT OF WATER RESOURCES  
**WELL DRILLER'S REPORT**

USE TYPEWRITER OR  
BALLPOINT PEN

State law requires that this report be filed with the Director, Department of Water Resources  
within 30 days after the completion or abandonment of the well.

<p><b>1. WELL OWNER</b> Name <u>L. J. RANCHES</u> Address <u>4785 N. TEN MILE MERIDIAN #3642</u> Drilling Permit No. <u>63-92-W-074</u> Water Right Permit No. <u>63-11667</u></p>	<p><b>7. WATER LEVEL</b> Static water level <u>18</u> feet below land surface. Flowing? <input type="checkbox"/> Yes <input type="checkbox"/> No G.P.M. flow _____ Artesian closed-in pressure _____ p.s.i. Controlled by: <input type="checkbox"/> Valve <input type="checkbox"/> Cap <input type="checkbox"/> Plug Temperature _____ OF, Quality _____ <small>Describe artesian or temperature zones below.</small></p>																																																																																																																												
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<p><b>3. PROPOSED USE</b> <u>IRRIGATION</u> <input type="checkbox"/> Domestic <input type="checkbox"/> Irrigation <input type="checkbox"/> Test <input type="checkbox"/> Municipal <input type="checkbox"/> Industrial <input type="checkbox"/> Stock <input type="checkbox"/> Waste Disposal or Injection <input type="checkbox"/> Other _____ (specify type)</p>	<p><b>9. LITHOLOGIC LOG</b> <span style="float: right;"><u>079553</u></span></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th rowspan="2">Bore Diam.</th> <th colspan="2">Depth</th> <th rowspan="2">Material</th> <th colspan="2">Water</th> </tr> <tr> <th>From</th> <th>To</th> <th>Yes</th> <th>No</th> </tr> </thead> <tbody> <tr> <td>2 1/2"</td> <td>0</td> <td>4</td> <td>TOPSOIL</td> <td></td> <td>X</td> </tr> <tr> <td></td> <td>4</td> <td>7</td> <td>SOIL &amp; GRAVEL</td> <td></td> <td>X</td> </tr> <tr> <td></td> <td>7</td> <td>21</td> <td>SAND GRAVEL RECK</td> <td>X</td> <td></td> </tr> <tr> <td></td> <td>21</td> <td>47</td> <td>FINE TO CRSE SAND</td> <td>X</td> <td></td> </tr> <tr> <td></td> <td>47</td> <td>48</td> <td>BRN CLAY</td> <td></td> <td>X</td> </tr> <tr> <td></td> <td>48</td> <td>60</td> <td>FINE TO MED SAND</td> <td>X</td> <td></td> </tr> <tr> <td></td> <td>60</td> <td>78</td> <td>BRN CLAY</td> <td></td> <td>X</td> </tr> <tr> <td></td> <td>78</td> <td>125</td> <td>FINE TO CRSE SAND &amp; PEA GRAVEL</td> <td>X</td> <td></td> </tr> <tr> <td></td> <td>125</td> <td>135</td> <td>LITE BRN CLAY</td> <td></td> <td>X</td> </tr> <tr> <td></td> <td>135</td> <td>141</td> <td>FINE TO CRSE SAND</td> <td>X</td> <td></td> </tr> <tr> <td></td> <td>141</td> <td>145</td> <td>BRN CLAY</td> <td></td> <td>X</td> </tr> <tr> <td></td> <td>145</td> <td>150</td> <td>FINE TO CRSE SAND</td> <td>X</td> <td></td> </tr> <tr> <td></td> <td>150</td> <td>155</td> <td>BRN SANDY CLAY</td> <td></td> <td>X</td> </tr> <tr> <td></td> <td>155</td> <td>156</td> <td>FINE TO CRSE SAND</td> <td>X</td> <td></td> </tr> <tr> <td></td> <td>156</td> <td>159</td> <td>LITE BRN CLAY</td> <td></td> <td>X</td> </tr> <tr> <td></td> <td>159</td> <td>162</td> <td>FINE TO CRSE SAND</td> <td>X</td> <td></td> </tr> <tr> <td></td> <td>162</td> <td>169</td> <td>LITE BRN SANDY CLAY</td> <td></td> <td>X</td> </tr> <tr> <td></td> <td>169</td> <td>199</td> <td>FINE TO CRSE SAND</td> <td>X</td> <td></td> </tr> <tr> <td></td> <td>199</td> <td>205</td> <td>BRN CLAY</td> <td></td> <td>X</td> </tr> </tbody> </table>	Bore Diam.	Depth		Material	Water		From	To	Yes	No	2 1/2"	0	4	TOPSOIL		X		4	7	SOIL & GRAVEL		X		7	21	SAND GRAVEL RECK	X			21	47	FINE TO CRSE SAND	X			47	48	BRN CLAY		X		48	60	FINE TO MED SAND	X			60	78	BRN CLAY		X		78	125	FINE TO CRSE SAND & PEA GRAVEL	X			125	135	LITE BRN CLAY		X		135	141	FINE TO CRSE SAND	X			141	145	BRN CLAY		X		145	150	FINE TO CRSE SAND	X			150	155	BRN SANDY CLAY		X		155	156	FINE TO CRSE SAND	X			156	159	LITE BRN CLAY		X		159	162	FINE TO CRSE SAND	X			162	169	LITE BRN SANDY CLAY		X		169	199	FINE TO CRSE SAND	X			199	205	BRN CLAY		X
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<p><b>4. METHOD DRILLED</b> <u>REVERSE ROTARY</u> <input type="checkbox"/> Rotary <input type="checkbox"/> Air <input type="checkbox"/> Hydraulic <input type="checkbox"/> Reverse rotary <input type="checkbox"/> Cable <input type="checkbox"/> Dug <input type="checkbox"/> Other _____</p>	<p><b>10.</b> Work started <u>4/15/92</u> finished <u>4/18/92</u></p>																																																																																																																												
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USE ADDITIONAL SHEETS IF NECESSARY - FORWARD THE WHITE COPY TO THE DEPARTMENT

# SITE CONSULTING, LLC

Form 238-7  
6/88

STATE OF IDAHO  
DEPARTMENT OF WATER RESOURCES  
**WELL DRILLER'S REPORT**

USE TYPEWRITER OR  
BALLPOINT PEN

State law requires that this report be filed with the Director, Department of Water Resources  
within 30 days after the completion or abandonment of the well.

<p><b>1. WELL OWNER</b></p> <p>Name <u>DALLAS CHESTER</u></p> <p>Address <u>470W. Mc MILLEN, MERIDIAN, IDA</u></p> <p>Owner's Permit No. <u>Not Reqd (Prior to 7-1-87)</u></p>	<p><b>7. WATER LEVEL</b></p> <p>Static water level <u>18</u> feet below land surface.</p> <p>Flowing? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No G.P.M. flow _____</p> <p>Artesian closed-in pressure _____ p.s.i.</p> <p>Controlled by: <input type="checkbox"/> Valve <input type="checkbox"/> Cap <input type="checkbox"/> Plug</p> <p>Temperature <u>54</u> OF. Quality <u>GOOD</u></p> <p style="font-size: small;">Describe artesian or temperature zones below.</p>																																																																																		
<p><b>2. NATURE OF WORK</b> <u>63-87-C-1000-000</u> <u>W.R. 63-10454</u></p> <p><input checked="" type="checkbox"/> New well <input type="checkbox"/> Deepened <input type="checkbox"/> Replacement</p> <p><input type="checkbox"/> Well diameter increase</p> <p>Abandoned—describe abandonment procedures such as materials, plug depths, etc. in lithologic log</p>	<p><b>8. WELL TEST DATA</b></p> <p><input checked="" type="checkbox"/> Pump <input type="checkbox"/> Bailor <input type="checkbox"/> Air <input type="checkbox"/> Other _____</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>Discharge G.P.M.</th> <th>Pumping Level</th> <th>Hours Pumped</th> </tr> <tr> <td style="text-align: center;">190</td> <td style="text-align: center;">85</td> <td style="text-align: center;">4</td> </tr> </table>	Discharge G.P.M.	Pumping Level	Hours Pumped	190	85	4																																																																												
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<p><b>3. PROPOSED USE</b></p> <p><input type="checkbox"/> Domestic <input checked="" type="checkbox"/> Irrigation <input type="checkbox"/> Test <input type="checkbox"/> Municipal</p> <p><input type="checkbox"/> Industrial <input type="checkbox"/> Stock <input type="checkbox"/> Waste Disposal or Injection</p> <p><input type="checkbox"/> Other _____ (specify type)</p>	<p><b>9. LITHOLOGIC LOG</b> <u>082229</u></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th rowspan="2">Bore Diam.</th> <th colspan="2">Depth</th> <th rowspan="2">Material</th> <th colspan="2">Water</th> </tr> <tr> <th>From</th> <th>To</th> <th>Yes</th> <th>No</th> </tr> </thead> <tbody> <tr> <td>10"</td> <td>0</td> <td>3</td> <td>TOP SOIL</td> <td></td> <td>X</td> </tr> <tr> <td></td> <td>3</td> <td>18</td> <td>GRAVEL</td> <td>X</td> <td></td> </tr> <tr> <td>8"</td> <td>18</td> <td>35</td> <td>GRAVEL</td> <td>X</td> <td></td> </tr> <tr> <td></td> <td>35</td> <td>42</td> <td>BROWN CLAY</td> <td></td> <td>X</td> </tr> <tr> <td></td> <td>42</td> <td>47</td> <td>SAND</td> <td>X</td> <td></td> </tr> <tr> <td></td> <td>47</td> <td>59</td> <td>BROWN CLAY</td> <td></td> <td>X</td> </tr> <tr> <td></td> <td>59</td> <td>62</td> <td>SAND</td> <td>X</td> <td></td> </tr> <tr> <td></td> <td>62</td> <td>89</td> <td>BEN CLAY</td> <td></td> <td>X</td> </tr> <tr> <td></td> <td>89</td> <td>97</td> <td>SAND (COARSE)</td> <td>X</td> <td></td> </tr> <tr> <td></td> <td>97</td> <td>101</td> <td>BEN CLAY</td> <td></td> <td>X</td> </tr> <tr> <td></td> <td>101</td> <td>113</td> <td>SAND</td> <td>X</td> <td></td> </tr> <tr> <td></td> <td>113</td> <td></td> <td>BEN CLAY</td> <td></td> <td>X</td> </tr> </tbody> </table>	Bore Diam.	Depth		Material	Water		From	To	Yes	No	10"	0	3	TOP SOIL		X		3	18	GRAVEL	X		8"	18	35	GRAVEL	X			35	42	BROWN CLAY		X		42	47	SAND	X			47	59	BROWN CLAY		X		59	62	SAND	X			62	89	BEN CLAY		X		89	97	SAND (COARSE)	X			97	101	BEN CLAY		X		101	113	SAND	X			113		BEN CLAY		X
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<p><b>11. DRILLERS CERTIFICATION</b></p> <p>I/We certify that all minimum well construction standards were complied with at the time the rig was removed.</p> <p>Firm Name <u>COOSEWELL DRILLING</u> Firm No. <u>409</u></p> <p>Address <u>BOISE, IDA</u> Date <u>5-10-87</u></p> <p>Signed by (Firm Official) <u>[Signature]</u></p> <p>and _____</p> <p>(Operator)</p>	<div style="text-align: center; border: 1px solid black; padding: 5px;"> <p><b>RECEIVED</b></p> <p>DEC 04 1992</p> <p>Department of Water Resources</p> </div>																																																																																		

USE ADDITIONAL SHEETS IF NECESSARY — FORWARD THE WHITE COPY TO THE DEPARTMENT



**SOIL LOG LEGEND  
UNIFIED SOIL CLASSIFICATION SYSTEM**

(ASTM STANDARD TEST METHOD D 2487 FOR CLASSIFICATION OF SOIL FOR ENGINEERING PURPOSES)

DIVISIONS				TYPICAL DESCRIPTIONS
COARSE GRAINED SOILS < 50% - #200	GRAVEL & GRAVELLY SOILS <50% - #4	< 5% - #500	GW	Well-graded gravel, gravel-sand mixture, little or no fines.
			GP	Poorly-graded gravel, gravel sand mixture, little or no fines
		5-12% - #500 > 12% - #500	GM	Silty gravel, gravel-sand-silt mixtures
			GC	Clayey gravel, gravel-sand-clay mixtures
	SAND & SANDY SOILS ≥ 50% - #4	< 5% - #500	SW	Well-graded sand, gravelly sand, little or no fines.
			SP	Poorly-graded sand, gravelly sand, little or no fines
		>12% - #500	SM	Silty sand, sand-silt mixtures
			SC	Clayey sand, sand-clay mixtures
FINE GRAINED SOILS ≥ 50% - #200	SILTS AND CLAYS LL < 50%	INORGANIC	ML	Inorganic silt and very fine sand, rock flour, silty or clayey fine sand or clayey silt with slight plasticity
			CL	Lean clay-low to medium plasticity, gravelly clay, sandy clay, silty clay
		ORGANIC	OL	Organic silt and organic silty clay of low plasticity
	SILTS AND CLAYS LL ≥ 50%	INORGANIC	MH	Elastic silt, micaceous or diatomaceous fine sand or silty soil.
			CH	Fat clay - high plasticity
		ORGANIC	OH	Organic clay-med. or high plasticity: organic silt
ORGANIC SOILS		PT	Peat, humus, swamp soil with high organic content	

**ABBREVIATIONS AND ACRONYMS**

<b>AASHTO</b>	<b>American Association of State Highway &amp; Transportation Officials</b>
<b>ACP</b>	<b>Asphaltic Concrete Pavement</b>
<b>ASTM</b>	<b>American Society for Testing and Materials</b>
<b>BH</b>	<b>Bore Hole</b>
<b>IBC</b>	<b>International Building Code</b>
<b>ISPWC</b>	<b>Idaho Standard for Public Works Construction</b>
<b>ITD</b>	<b>Idaho Transportation Department</b>
<b>NP</b>	<b>Non Plastic</b>
<b>PCC</b>	<b>Portland Cement Concrete</b>
<b>PCF</b>	<b>Pounds per Cubic Foot</b>
<b>PSF</b>	<b>Pounds per Square Foot</b>
<b>TP</b>	<b>Test Pit</b>
<b>USCS</b>	<b>Unified Soil Classification System</b>

**NOTHING FOLLOWS**



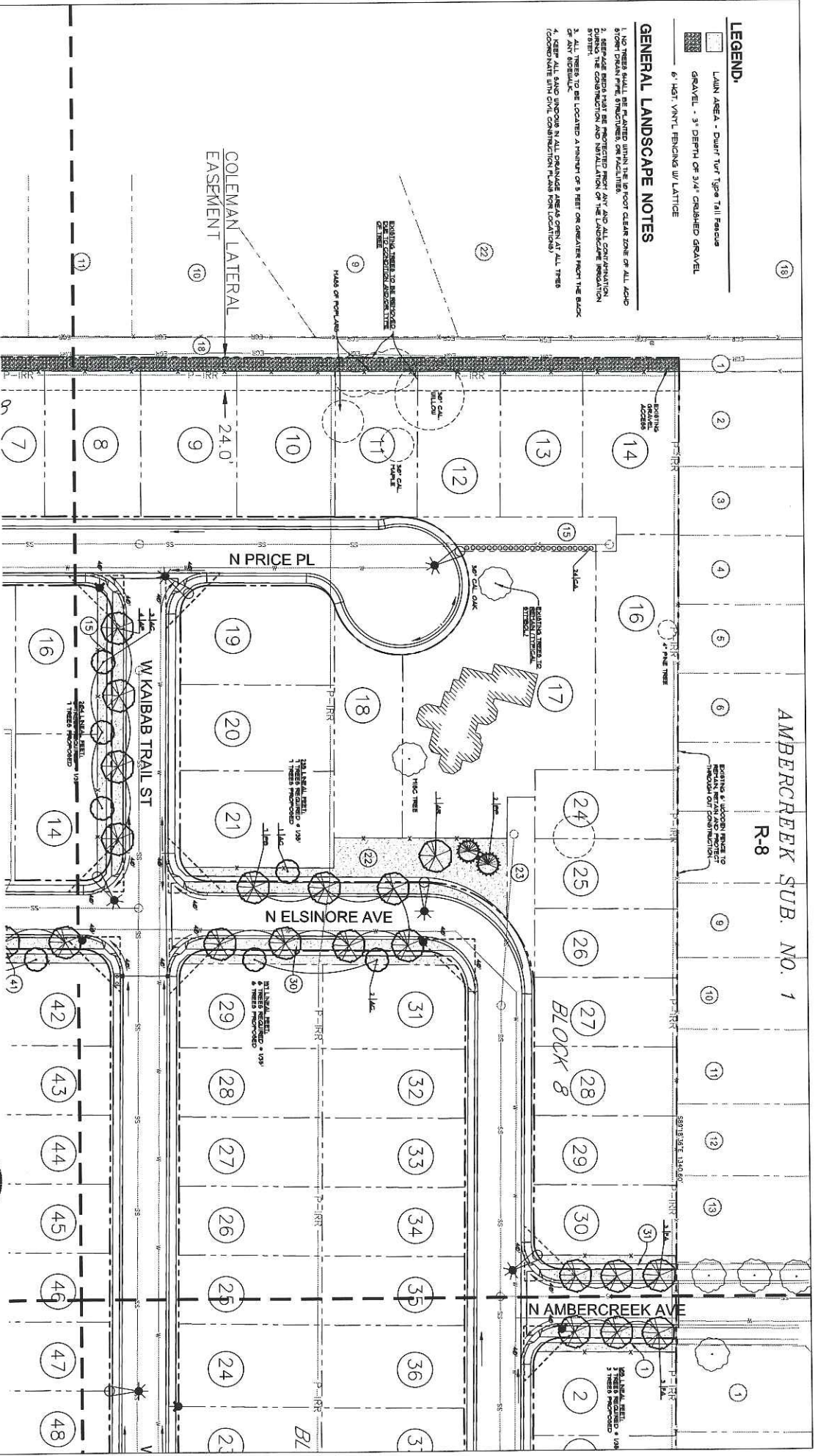


**LEGEND:**

- LAWN AREA - Dwarf Top Type Tall Fescue
- ▨ GRAVEL - 3" DEPTH OF 3/4" CRUSHED GRAVEL
- ▧ 6" HGT. VINYL FENCING W/ LATTICE

**GENERAL LANDSCAPE NOTES**

1. NO TREES SHALL BE PLANTED WITHIN THE 10 FOOT CLEAR ZONE OF ALL ADJACENT STREET DRAINAGE STRUCTURES OR FACILITIES.
2. SEEDING BESSA SHALL BE PROTECTED FROM ANY AND ALL CONSTRUCTION DURING THE CONSTRUCTION AND INSTALLATION OF THE LANDSCAPE INSULATION OR ANY STRUCTURE.
3. ALL TREES TO BE LOCATED A MINIMUM OF 5 FEET OR GREATER FROM THE BACK OF ANY STRUCTURE.
4. KEEP ALL SAND UNDOGS IN ALL DRAINAGE AREAS OPEN AT ALL TIMES (COORDINATE WITH CIVIL CONSTRUCTION PLANS FOR LOCATIONS)



**LANDSCAPE PLAN**  
SCALE: 1"=30'-0"

SEE SHEETS L1.1 - L1.6 FOR DETAILED  
LANDSCAPE PLANS AND L2.0 FOR  
LANDSCAPE DETAILS

**TOMLINSON CONSULTING, INC.**  
205 N. 10TH, SUITE 200 BOISE, IDAHO 83702 (208) 871-0579 / FAX (208) 338-1177

**WHITEACRE  
SUBDIVISION**

**Sault**  
LANDSCAPE ARCHITECTURE, PC  
2008 S. VIRNA AVE.  
BOISE, IDAHO 83705  
(208) 342-2899  
ars@saault.com



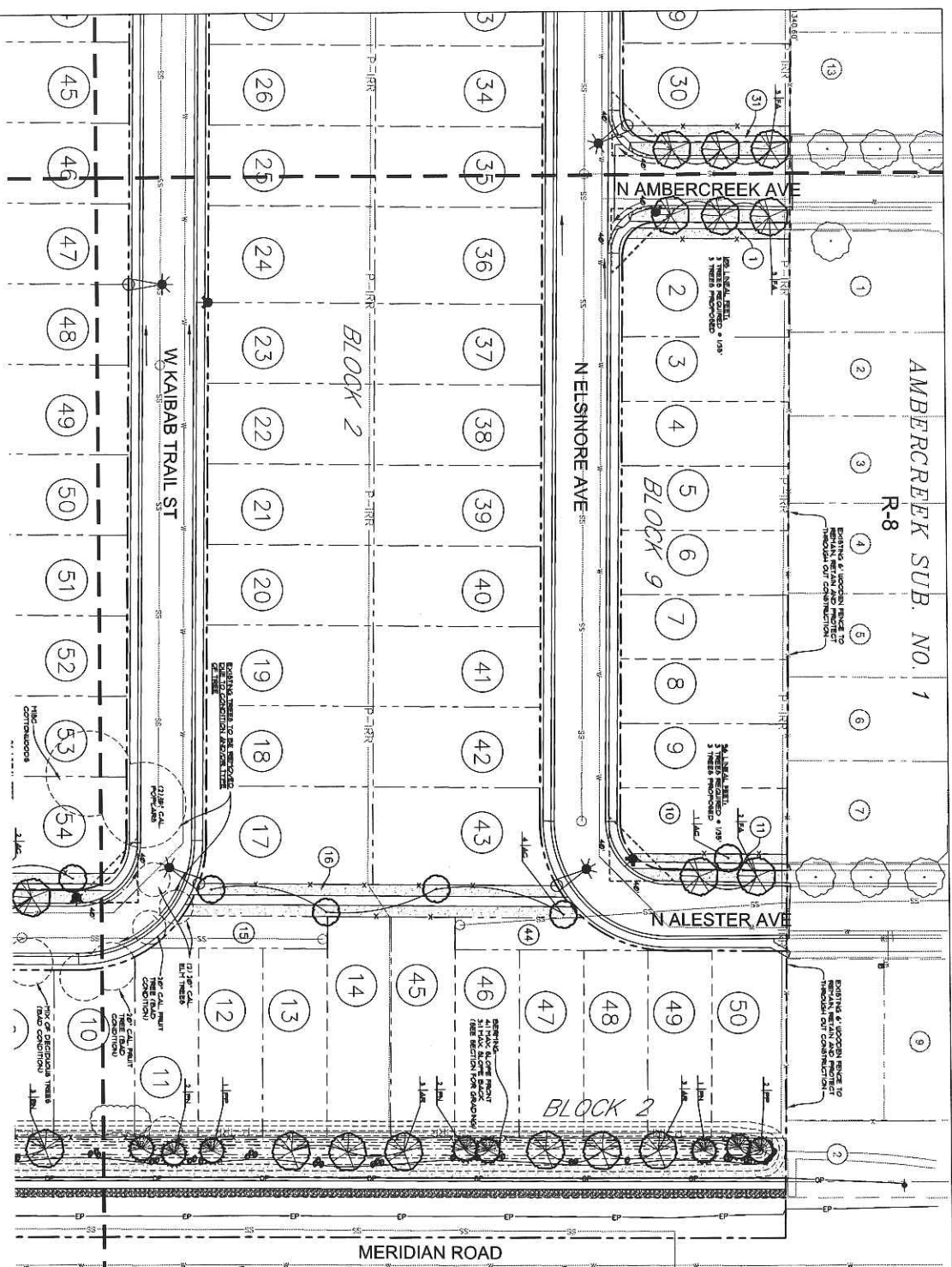
PRELIMINARY PLAT  
LOCATED IN THE SE 1/4 OF THE NE 1/4  
OF SECTION 36, T.4N., R.1W., B.M., ADA  
COUNTY, IDAHO

SHEET NO.  
16-101  
11

AMBERCREEK SUB. NO. 1  
R-8

BLOCK 8

B1



**LANDSCAPE PLAN**  
SCALE: 1"=40'

**SEE SHEETS L1.1 - L1.6 FOR DETAILED LANDSCAPE PLANS AND L2.0 FOR LANDSCAPE DETAILS**

**TOMLINSON CONSULTING, INC.**  
205 N. 10TH, SUITE 200 BOISE, IDAHO 83702 (208) 871-0579 / FAX (208) 338-1777

**WHITEACRE SUBDIVISION**

**South**  
LANDSCAPE ARCHITECTURE, P.C.  
2002 S. VINTA AVE.  
BOISE, IDAHO 83705  
(208) 345-3889  
ARCH@SOUTHLANDSCAPE.COM



PRELIMINARY PLAT  
LOCATED IN THE SE 1/4 OF THE NE 1/4 OF SECTION 36, T.4N., R.1W., B.M., ADA COUNTY, IDAHO

SHEET NO. 11.2

**LEGEND.**

- LAWN AREA - Dwarf Turf Type Tall Fescue
- GRAVEL - 3" DEPTH OF 3/4" CRUSHED GRAVEL
- 6" HGT. VINYL FENCING W/ LATTICE

**GENERAL LANDSCAPE NOTES**

1. NO TREES SHALL BE PLANTED WITHIN THE 8' FOOT CLEAR ZONE OF ALL ADJACENT SIDEWALKS OR DRIVEWAYS.
2. ALL TREES SHALL BE PROTECTED FROM ANY AND ALL CONTAMINATION, DAMAGE, OR REMOVAL DURING THE CONSTRUCTION AND INSTALLATION OF THE LANDSCAPE IRRIGATION SYSTEM.
3. ALL TREES TO BE LOCATED A MINIMUM OF 3 FEET OR GREATER FROM THE BACK OF ANY DRIVEWAY.
4. REMOVAL OF ANY EXISTING TREES SHALL BE SHOWN ON ALL CONSTRUCTION PLANS FOR ALL LOCATIONS.

EXISTING TREES TO BE REMOVED  
DURING CONSTRUCTION  
SEE SHEET L1.1 FOR LOCATION

PLANTING  
SEE SHEETS L1.1 - L1.6 FOR DETAILED LANDSCAPE PLANS

EXISTING TREES TO BE REMOVED  
DURING CONSTRUCTION  
SEE SHEET L1.1 FOR LOCATION

PLANTING  
SEE SHEETS L1.1 - L1.6 FOR DETAILED LANDSCAPE PLANS

EXISTING TREES TO BE REMOVED  
DURING CONSTRUCTION  
SEE SHEET L1.1 FOR LOCATION

PLANTING  
SEE SHEETS L1.1 - L1.6 FOR DETAILED LANDSCAPE PLANS

EXISTING TREES TO BE REMOVED  
DURING CONSTRUCTION  
SEE SHEET L1.1 FOR LOCATION

PLANTING  
SEE SHEETS L1.1 - L1.6 FOR DETAILED LANDSCAPE PLANS

EXISTING TREES TO BE REMOVED  
DURING CONSTRUCTION  
SEE SHEET L1.1 FOR LOCATION

PLANTING  
SEE SHEETS L1.1 - L1.6 FOR DETAILED LANDSCAPE PLANS

EXISTING TREES TO BE REMOVED  
DURING CONSTRUCTION  
SEE SHEET L1.1 FOR LOCATION

PLANTING  
SEE SHEETS L1.1 - L1.6 FOR DETAILED LANDSCAPE PLANS

EXISTING TREES TO BE REMOVED  
DURING CONSTRUCTION  
SEE SHEET L1.1 FOR LOCATION

PLANTING  
SEE SHEETS L1.1 - L1.6 FOR DETAILED LANDSCAPE PLANS

SOUTH

**LEGEND.**

- 1. LAWN AREA - Dwarf 1/2" Tiger Tail Fescue
- 2. GRAVEL - 3" DEPTH OF 3/4" CRUSHED GRAVEL
- 3. 6" HGT VENTIL FENCING W/ LATTICE

**GENERAL LANDSCAPE NOTES**

1. NO TREES SHALL BE PLANTED WITHIN THE 10 FOOT CLEAR ZONE OF ALL ADJACENT STORM DRAIN PIPE STRUCTURES, OR FACILITIES.
2. SEEDS AND SOIL MUST BE PROTECTED FROM ANY AND ALL CONTAMINATION DURING THE CONSTRUCTION AND INSTALLATION OF THE LANDSCAPE REGULATION.
3. ALL TREES TO BE LOCATED A MINIMUM OF 3 FEET OR GREATER FROM THE BACK OF ANY DRIVEWAY.
4. KEEP ALL SAND ENCLOSE IN ALL DRAINAGE AREAS OPEN AT ALL TIMES (COORDINATE WITH CIVIL CONSTRUCTION PLANS FOR LOCATION).

**LANDSCAPE PLAN**

SCALE: 1"=30'-0"

**SEE SHEETS L1.1 - L1.6 FOR DETAILED LANDSCAPE PLANS AND L2.0 FOR LANDSCAPE DETAILS**

**TOMLINSON CONSULTING, INC.**

205 N. 10TH, SUITE 200 BOISE, IDAHO 83702 (208) 871-0579 FAX (208) 338-1177

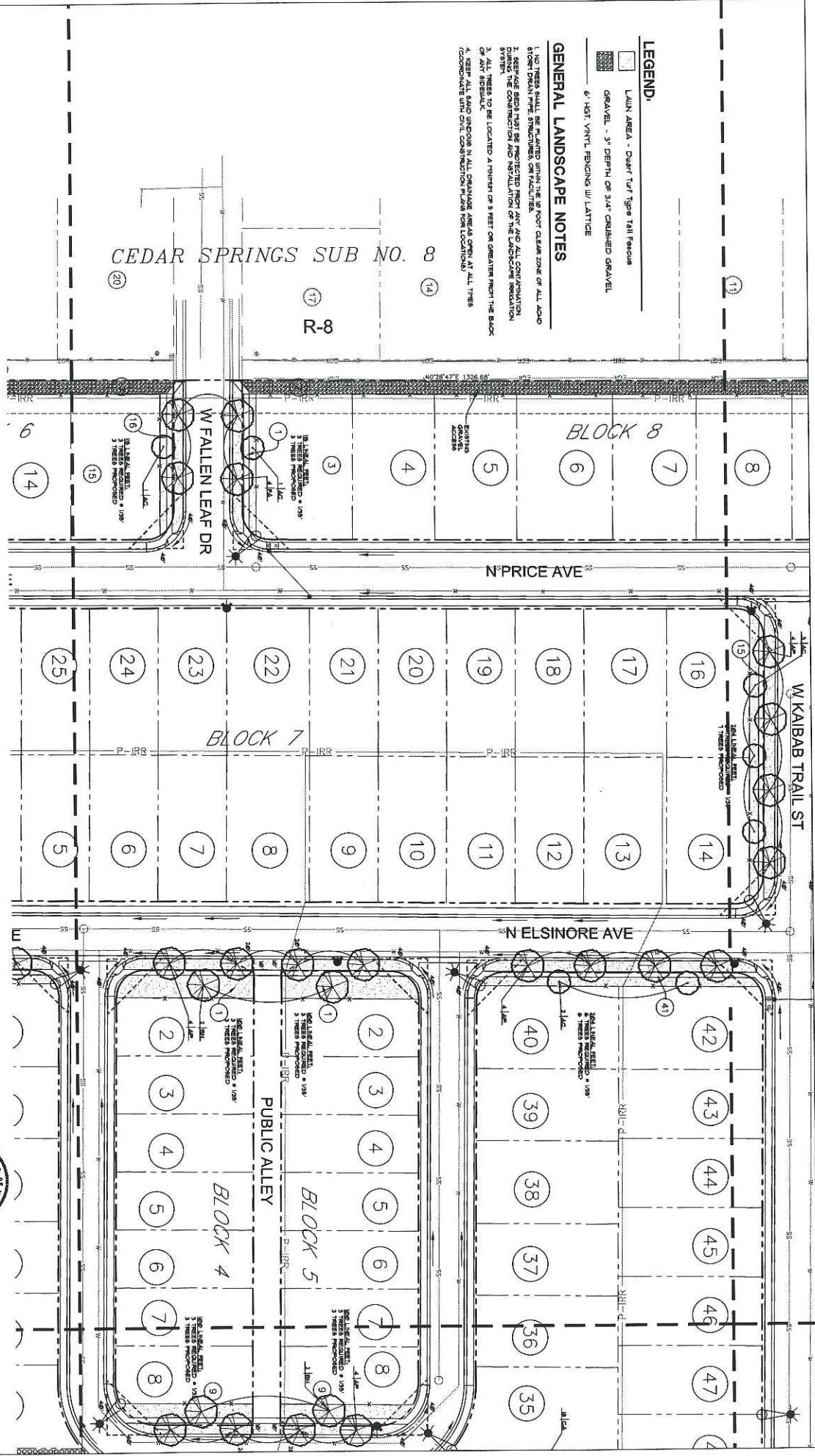
**WHITEACRE SUBDIVISION**

**South**  
LANDSCAPE ARCHITECTURE, P.C.  
2005 S. VINTA AVE.  
BOISE, IDAHO 83706  
(208) 343-2899  
ARLBERG@SOUTHLANDSCAPE.COM



PRELIMINARY PLAT  
LOCATED IN THE SE 1/4 OF THE NE 1/4 OF SECTION 36, T.4N., R.1W., B.M., ADA COUNTY, IDAHO

SHEET NO. 1.3 OF 1.3





**LEGEND.**

- LAIN AREA - Dwarf Turf Tall Fence
- GRAVEL - 3" DEPTH OF 3/4" CRUSHED GRAVEL
- 6" HOT VANTL FENCING W/ LATTICE

**GENERAL LANDSCAPE NOTES**

1. NOTED SHALL BE MAINTAINED UNTIL THE 90% CLEAR ZONE OF ALL ADJACENT DRAINAGE STRUCTURES OR FACILITIES.
2. REPAIRS SHALL BE PROTECTED FROM AIR AND ALL CONTAMINATION DURING THE CONSTRUCTION AND INSTALLATION OF THE LANDSCAPE PROTECTION BARRIER.
3. ALL TREES TO BE LOCATED A MINIMUM OF 5 FEET OR GREATER FROM THE BACK OF CURB.
4. USE ALL LAND SURFACE IN ALL DESIGN AREAS OPEN AT ALL TIMES.
5. COORDINATE WITH CIVIL CONSTRUCTION PLANS FOR LOCATIONS.

**LANDSCAPE PLAN**  
SCALE: 1"=30'-0"

**SEE SHEETS L1.1 - L1.6 FOR DETAILED LANDSCAPE PLANS AND L2.0 FOR LANDSCAPE DETAILS**

**TOMLINSON CONSULTING, INC.**  
205 N. 10TH, SUITE 200 BOISE, IDAHO 83702 (208) 871-0579 FAX (208) 338-1177

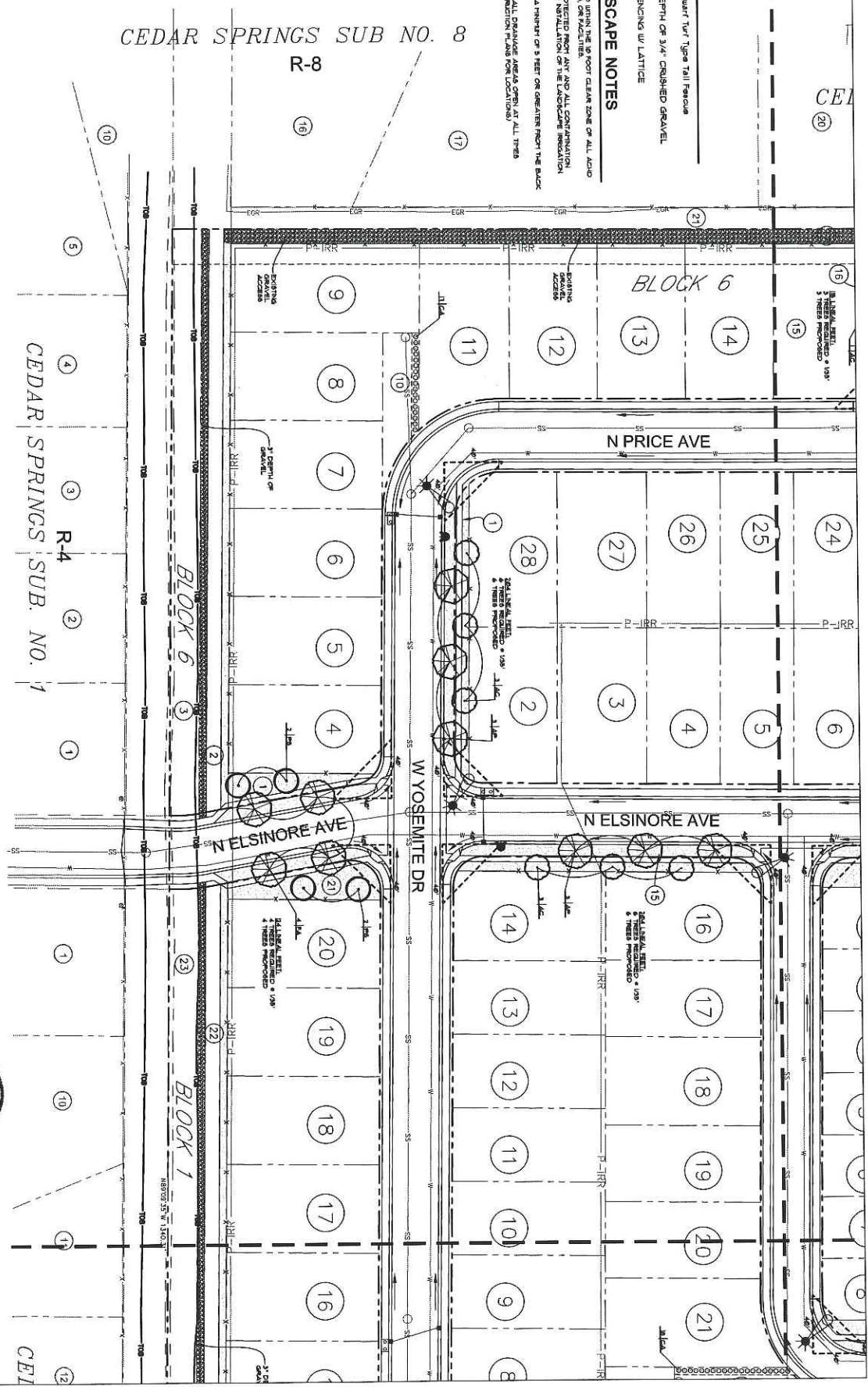
**WHITTEACRE SUBDIVISION**

**South**  
LANDSCAPE ARCHITECTURE, P.C.  
2002 S. VERA AVE.  
BOISE, IDAHO 83705  
(208) 342-9899  
www.whitteacre.com



PRELIMINARY PLAT  
LOCATED IN THE SE 1/4 OF THE NE 1/4 OF SECTION 36, T4N., R1W., B.M., ADA COUNTY, IDAHO

SHEET NO. 1.5



CEDAR SPRINGS SUB NO. 8  
R-8

CEDAR SPRINGS SUB. NO. 1  
R-4

LANDSCAPE PLAN

SEE SHEETS L1.1 - L1.6 FOR DETAILED LANDSCAPE PLANS AND L2.0 FOR LANDSCAPE DETAILS

TOMLINSON CONSULTING, INC.  
205 N. 10TH, SUITE 200 BOISE, IDAHO 83702 (208) 871-0579 FAX (208) 338-1177

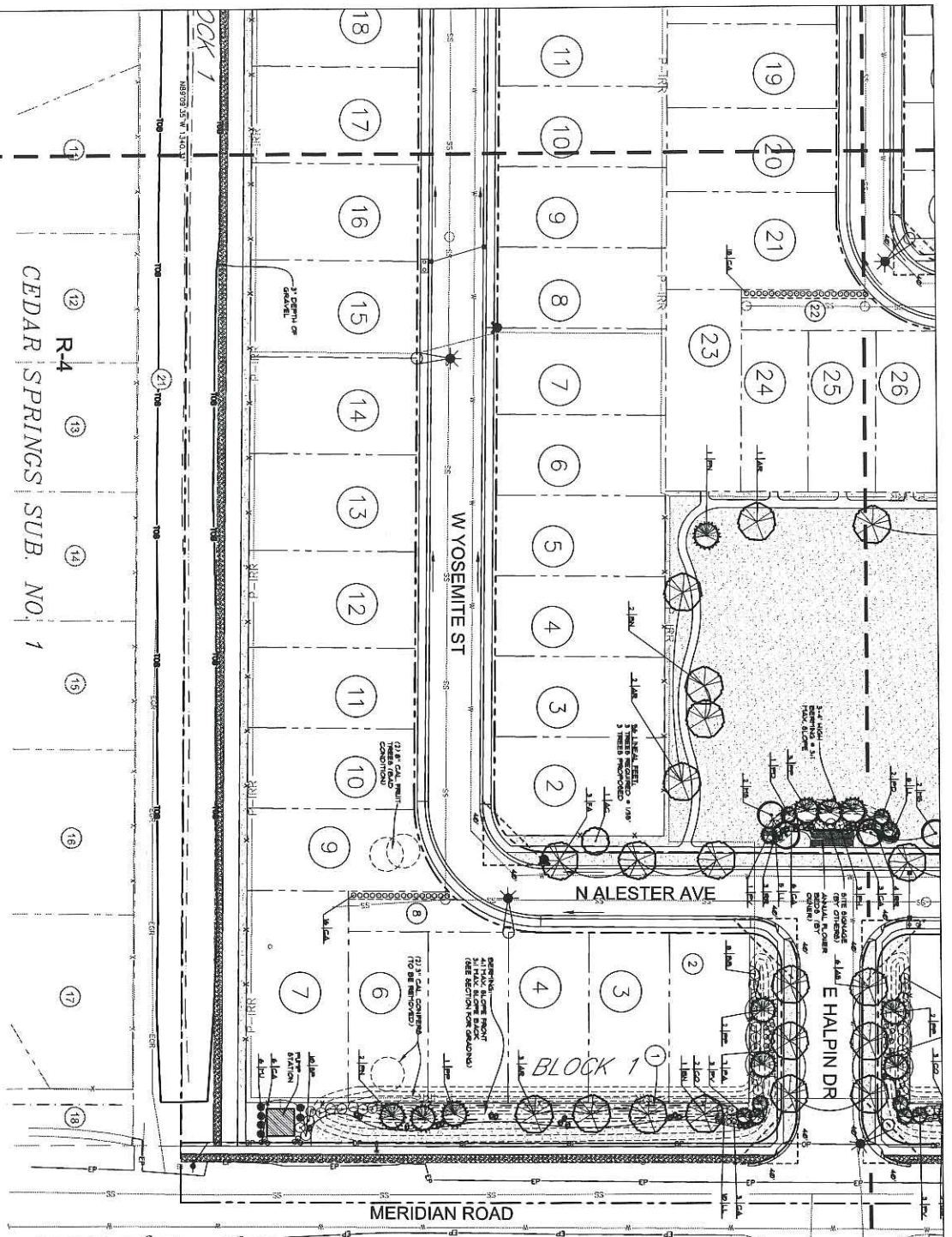
WHITTEACRE SUBDIVISION

South LANDSCAPE ARCHITECTURE, P.C.  
2002 S. VERA AVE.  
BOISE, IDAHO 83705  
(208) 342-9899  
www.whitteacre.com



PRELIMINARY PLAT  
LOCATED IN THE SE 1/4 OF THE NE 1/4 OF SECTION 36, T4N., R1W., B.M., ADA COUNTY, IDAHO

SHEET NO. 1.5



**LANDSCAPE PLAN**  
SCALE: 1"=30'-0"

**SEE SHEETS L1.1 - L1.6 FOR DETAILED  
LANDSCAPE PLANS AND L2.0 FOR  
LANDSCAPE DETAILS**

**TOMLINSON CONSULTING, INC.**  
205 N. 10TH, SUITE 200 BOISE, IDAHO 83702 (208) 871-0579 / FAX (208) 338-1177

**WHITEACRE  
SUBDIVISION**

**Sarkis**  
LANDSCAPE ARCHITECTURE, P.C.  
DAN S. SARKIS, AIA  
BOISE, IDAHO 83702  
(208) 442-2890  
sarkislandscaping.com



**PRELIMINARY PLAT**  
LOCATED IN THE SE 1/4 OF THE NE 1/4  
OF SECTION 36, T.4N., R.1W., B.M., ADA  
COUNTY, IDAHO

**SHEET NO. 1.6**

SEE SHEETS L1.1 - L1.6 FOR DETAILED  
LANDSCAPE PLANS AND L2.0 FOR  
LANDSCAPE DETAILS

**R-8  
BURNAY GLEN SUB. NO. 1**

**LEGEND.**

- LAWN AREA - Dwarf Turf Type Tall Fescue
- ▨ GRAVEL - 3" DEPTH OF 3/4" CRUSHED GRAVEL
- 6" HGT. VINYL FENCING W/ LATTICE

**GENERAL LANDSCAPE NOTES**

1. NO TREES SHALL BE PLANTED WITHIN THE 5' FOOT CLEAR ZONE OF ALL ACID ROOF DRAIN PIPE STRUCTURES OR FLUELINES.
2. REFERENCE SHALL BE MADE TO THE LATEST EDITION OF THE IRLA (INTERNATIONAL RESIDENTIAL LANDSCAPE ARCHITECTURE) SYSTEM OF CONSTRUCTION AND INSTALLATION OF THE LANDSCAPE REVOLUTION.
3. ALL TREES TO BE LOCATED A MINIMUM OF 5' FEET OR GREATER FROM THE BACK OF ANY SIDEWALK.
4. KEEP ALL LAND SURFACES IN ALL DRAINAGE AREAS OPEN AT ALL TIMES (COORDINATE WITH CIVIL CONSTRUCTION PLAN FOR INSTALLATION).



