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JAN 30 2017

BY: \_\_\_\_\_

Planning Division

DEVELOPMENT REVIEW APPLICATION

Hearing Date: 3-16-17

**STAFF USE ONLY:**  
 Project name: Grodder & Creek Sub - CPAM, CUP, MDA, PP, RZ  
 File number(s): H-2017-0007  
 Assigned Planner: Josh Beach Related files: \_\_\_\_\_

**Type of Review Requested (check all that apply)**

- |   |   |
|---|---|
| <input type="checkbox"/> Accessory Use  | <input type="checkbox"/> Planned Unit Development                                     |
| <input type="checkbox"/> Administrative Design Review                                     | <input checked="" type="checkbox"/> Preliminary Plat                                  |
| <input type="checkbox"/> Alternative Compliance   | <input type="checkbox"/> Private Street   |
| <input type="checkbox"/> Annexation and Zoning  | <input type="checkbox"/> Property Boundary Adjustment                                 |
| <input type="checkbox"/> Certificate of Zoning Compliance                                 | <input checked="" type="checkbox"/> Rezone  |
| <input type="checkbox"/> City Council Review  | <input type="checkbox"/> Short Plat   |
| <input checked="" type="checkbox"/> Comprehensive Plan Map Amendment                      | <input type="checkbox"/> Time Extension:<br>Director/ Commission/Council (circle one) |
| <input type="checkbox"/> Comprehensive Plan Text Amendment                                | <input type="checkbox"/> UDC Text Amendment   |
| <input checked="" type="checkbox"/> Conditional Use Permit                                | <input type="checkbox"/> Vacation:<br>Director/ Council (circle one)                  |
| <input type="checkbox"/> Conditional Use Modification<br>Director/Commission (circle one) | <input type="checkbox"/> Variance   |
| <input checked="" type="checkbox"/> Development Agreement Modification                    | <input type="checkbox"/> Other _____  |
| <input type="checkbox"/> Final Plat   |   |
| <input type="checkbox"/> Final Plat Modification  |   |

**Applicant Information**

Applicant name: Brian Porter Phone: (916) 955-6999  
 Applicant address: 3057 E. Red Tail Drive Email: portercon@sbcglobal.net  
 City: Eagle State: ID Zip: 83616

Applicant's interest in property:  Own  Rent  Optioned  Other \_\_\_\_\_

Owner name: Daniel and Carolyn Gibson, Trustees of the Gibson Family Revocable Living Trust Phone: (208) 573-3328

Owner address: 2780 W. McMillan Rd Email: hootcarolyn@aol.com  
 City: Meridian State: ID Zip: 83646

Agent/Contact name (e.g., architect, engineer, developer, representative): Shon Parks

Firm name: T-O Engineers Phone: (208)323-2288

Agent address: 2471 S. Titanium Place Email: sparks@to-engineers.com

City: Meridian State: ID Zip: 83642

Primary contact is:  Applicant  Owner  Agent/Contact

**Subject Property Information**

Location/street address: 2780 W. McMillan Rd, Meridian, ID 83646 Township, range, section: 4N, 1W, 26

Assessor's parcel number(s): S0426347150 Total acreage: 12.38 AC Zoning district: R-4

Project/subdivision name: Goddard Creek Subdivision

General description of proposed project/request: Self storage facility with managers unit and Multi-Family

Proposed zoning district(s): Community Business and High Density Residential

Acres of each zone proposed: CC: 7.38 AC and R-40: 5.00 AC

Type of use proposed (check all that apply):

Residential  Office  Commercial  Employment  Industrial  Other \_\_\_\_\_

Who will own & maintain the pressurized irrigation system in this development? Settlers Irrigation

Which irrigation district does this property lie within? Settlers Irrigation

Primary irrigation source: Tied into Lochsa pump station Secondary: \_\_\_\_\_

Square footage of landscaped areas to be irrigated (if primary or secondary point of connection is City water): N/A

**Residential Project Summary (if applicable)**

Number of residential units: 82 Number of building lots: 22

Number of common lots: 5 Number of other lots: \_\_\_\_\_

Proposed number of dwelling units (for multi-family developments only):

1 bedroom: \_\_\_\_\_ 2-3 bedrooms: 82 4 or more bedrooms: \_\_\_\_\_

Minimum square footage of structure (excl. garage): 1,350 SF Maximum building height: 37 Feet

Minimum property size (s.f.): 3,084 SF Average property size (s.f.): 5,430 SF

Gross density (Per UDC 11-1A-1): 16.40 DU/AC Net density (Per UDC 11-1A-1): 30.48 DU/AC

Acreage of qualified open space: 1.57 AC Percentage of qualified open space: 12.6%

Type and calculations of qualified open space provided in acres (Per UDC 11-3G-3B): Playground, play field, lawn areas, landscape buffers (50% along W. McMillan Rd), and common walks

Amenities provided with this development (if applicable): Play field, playground, and art piece

Type of dwelling(s) proposed:  Single-family Detached  Single-family Attached  Townhouse

Duplex  Multi-family  Vertically Integrated  Other \_\_\_\_\_

**Non-residential Project Summary (if applicable)**

Number of building lots: 1 Common lots: 2 Other lots: \_\_\_\_\_

Gross floor area proposed: 143,964 SF Existing (if applicable): 7,150 SF

Hours of operation (days and hours): 8:00 a.m. - 7:00 p.m. Building height: 27.5 Feet

Total number of parking spaces provided: 7 Number of compact spaces provided: N/A

**Authorization**

Print applicant name: Briah Porter

Applicant signature:  Date: 1-24-17

January 25, 2017

Mr. Caleb Hood, Planning Division Manager  
Planning Division  
City of Meridian  
33 E. Broadway Ave., Suite 102  
Meridian, Idaho 83642

RE: Goddard Creek Subdivision – Re zoning, DA  
Modification, Conditional Use Permit, Comprehensive  
Plan Change and Preliminary Plat

Dear Mr. Hood:

Attached for your review and approval are the applications for the Goddard Creek Subdivision located at 2780 W. McMillan Road.

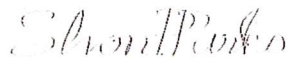
After receiving good comments from planning staff during two pre-application meetings and comments from neighbors at neighborhood meetings we have thoughtfully designed a project that includes: a storage facility on the western 7.38 acres with access onto W. McMillan Road and a multi-family, 82 unit residential project on the eastern 5.0 acres with access on the W. Apgar Creek. The design team has worked to create a project that fits well into the existing surrounding neighborhood. Architectural facades as shown in renderings attached in this package are designed with materials, proportions and colors that are attractive and that blend well with the neighborhood.

For design and planning purposes, our design team used the Meridian City Comprehensive Plan, Zoning Code, Pre- application Meetings and Neighborhood Meetings as the policy basis for the design of the Goddard Creek Subdivision. As a result of this planning we ask your approval for the following:

- Development Agreement Modification to allow these uses per plans and application in Lochsa Falls Subdivision Development Agreement.
- Comprehensive Plan amendment to change land-use designation from Office and HDR to MU-C
- Rezoning from existing R-4 to CC and Conditional Use Permit for 7.38 acres for a new self-storage facility.
- Rezoning 5 acres for a Multi-family 4-plex residential community from existing R-4 to R-40
- Preliminary Plat for 12.38 acres per application and plan

Enclosed is a project narrative that details the project and various aspects of our applications. Thank you for your consideration and should you have any questions or require additional information please contact me.

Sincerely,



SHON PARKS, LA | *Landscape Architect*



2471 S. Titanium Place | Meridian, Idaho 83642

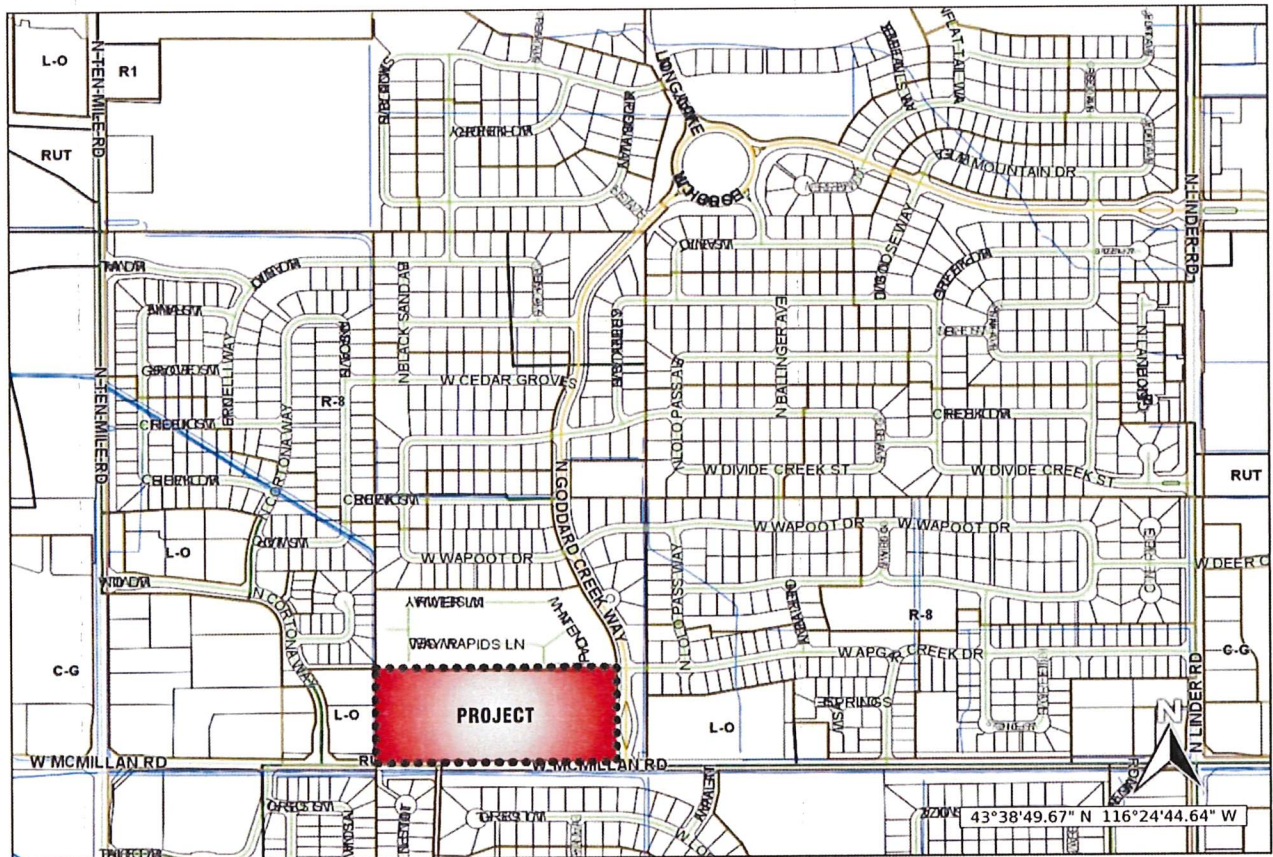
D 208.323.2288 M 208.921.2776

[www.to-engineers.com](http://www.to-engineers.com)

**SUMMARY**

Located in Southern Meridian at the NW corner of McMillan Road and N. Goddard Creek Way, Goddard Creek Subdivision is a 12.38 acre development with a 7.38 acres self-storage facility and an 82 unit, multi-family 4-plex community on 5.0 acres. The design team has received good comments from planning staff and neighbors helping to create this plan which is designed to fit well into the adjacent neighborhood and provide new housing and rentable self-storage units, while minimizing adverse impacts to existing residents. The primary features that are being used to make this subdivision attractive include: well-designed architectural facades, highly planted landscape buffers and well placed access locations.

**Location Map**



Jan 11, 2017 - landproDATA.com  
Scale: 1 Inch approx 600 feet

The materials available at this web site are for informational purposes only and do not constitute a legal document.

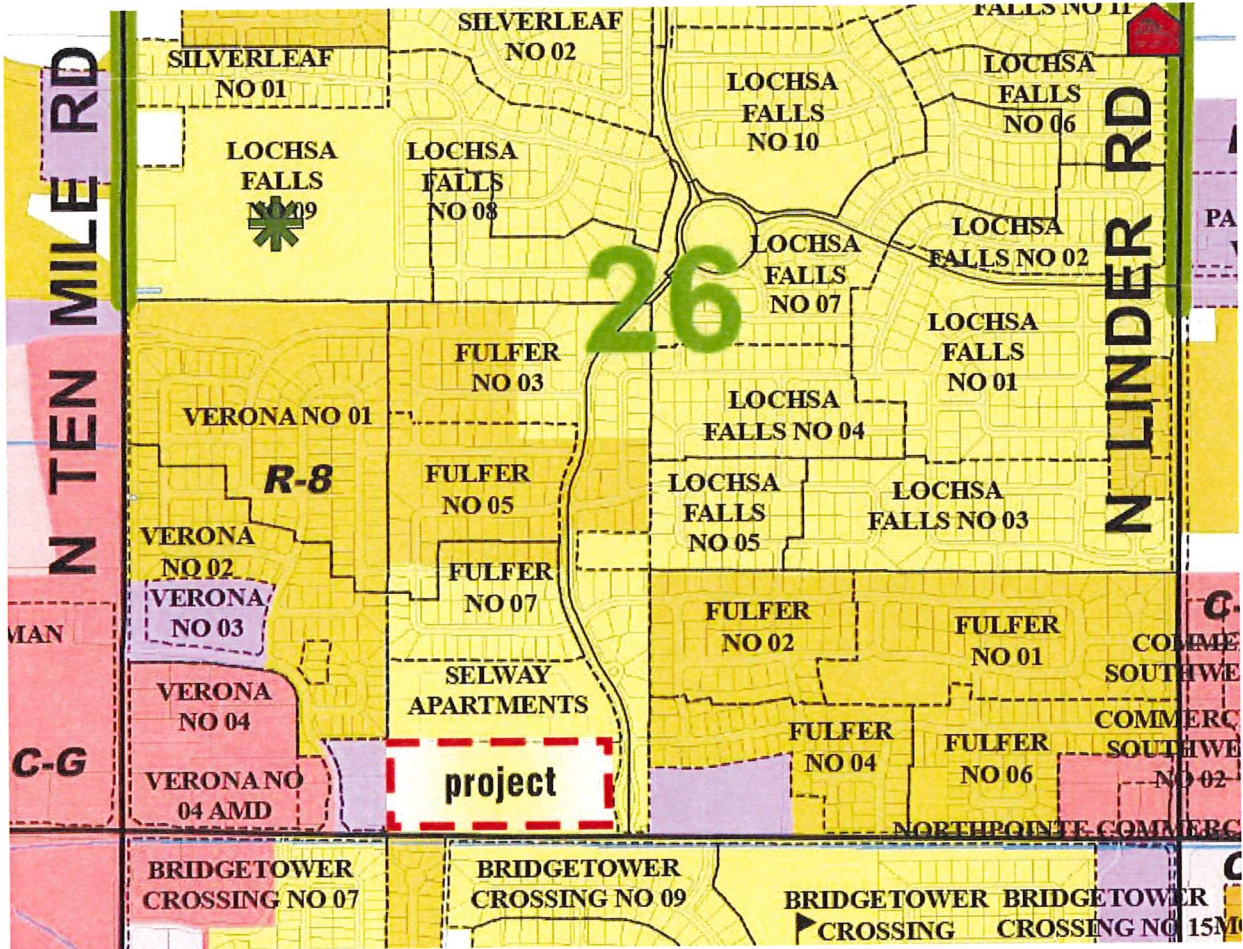
**Property Information:**

Parcel	Address	Current Zone	Proposed Zone
S0426347150	2780 W McMillan Rd	R-4	R-40 (east 5.0 Acres) and CC (west 7.38 acres).

Surrounding and Adjacent Land-uses:

	Adjacent Building Types and / or Uses:	Adjacent Zoning
North	-Multi-family Residential Apartments and Patio Homes	R-15 and R-4
South	-Residential	R-4 (Across McMillan Rd)
East	-Limited Office	L-O
West	-Limited Office (vacant land)	L-O

Zoning and Subdivision Map



Zoning Districts		
<b>Commercial Districts</b>	<b>Industrial Districts</b>	<b>Residential Districts</b>
Neighborhood Business (C-N)	Light Industrial (I-L)	Low Density Residential (R-2)
Community Business (C-C)	Heavy Industrial (I-H)	Medium-Low Density Residential (R-4)
General Retail & Service Commercial (C-G)	<b>Traditional Neighborhood Districts</b>	Medium Density Residential (R-8)
Limited Office (L-O)	Old Town (O-T)	Medium-High Density Residential (R-15)
Mixed Employment (M-E)	Traditional Neighborhood - Center (TN-C)	High Density Residential (R-40)
High Density Employment (H-E)	Traditional Neighborhood - Residential (TN-R)	

## **REZONING APPLICATION**

This project parcel is designated in Meridian's Comprehensive Plan as future Office and High Density Residential and is currently zoned R-4. During our pre-application meetings with the Meridian City Planning Team, it was established that the project would be within Meridian City Code and be well served with the blend of a CC zoning for self-storage facilities and R-40 zoning for multi-family residential development.

Consequently we are requesting the following zoning designations:

1. Amend the Future Land Use Map in the Comprehensive Plan to change the land use designation to MU-C.
2. Rezone the eastern 5.0 acres to R-40 Zoning
  - a. This zoning and the 82 dwelling units in attached 4-plex buildings was designed to blend with surrounding neighborhoods. At 16.5 dwelling units per acre (DUA) this multifamily community does not conform to the much closer R-15 zoning; however, we realize that the R-40 allows for a much greater density than planned, therefore we will be supportive of a Development Agreement that restricts these 5 acres with a maximum density of 82 dwelling units, or a maximum of 17 Dwelling Units Per Acre.
3. Rezone western 7.38 acres to CC Zoning
  - a. The Self-Storage Units in this zone will also require a Condition Use Permit.

## **PRELIMINARY PLAT APPLICATION**

**General Site Development:** This preliminary plat is a 12.38 acre subdivision with a 7.38 acre self-storage facility and a separate 82 unit, 5.0 acre multifamily residential community. Each of these land-uses will have their own access and are being developed by different companies with private drives. Each of these uses will maintain an office with parking near its entrance. Architectural features and colors are designed to blend with surround neighborhoods by using stone cladding and varied colors in natural tones and also some variation in height and accent color (see exhibits).

**Open Space and Site Amenities:** The community is designed with a five foot sidewalk within a 25' wide landscape buffer along McMillan Road. Also in accordance to UDC codes, other perimeter landscape buffers, pedestrian connections and amenities are provided to ensure the quality of this community. While several existing undesirable tree species are being removed, desirable existing trees are being preserved and/or mitigated within the project's common open spaces. The project's open space was calculated as follows:

### **PRE-APPLICATION MEETINGS & NEIGHBORHOOD MEETINGS**

- Pre Application Meeting #1  
September 11, 2016
- Pre Application Meeting #2  
October 6, 2016 (Planners suggested flipping the Storage facility to the western side)
- Neighborhood Meeting #1  
October (Primarily Storage Facility presentation/discussion)
- Neighborhood Meeting #2  
December 22, 2016 (Primarily Multi-Family presentation/discussion)
- ACHD meeting October 20, 2016

*Multi-family Residential Open Space Component:*

Meridian Code 11-4-3-27 Multi Family Development requires “350 sq ft for each living unit containing more than 1200 sq ft of living area.” Restraints include: open space area must be larger than 20x20, cannot be adjacent to collector or arterial streets unless bermed. Also states we need 80 sq ft of private useable outdoor space for each unit.

- 82 dwelling units x 350 = **28,700 sq ft open space required and approximately 36,428 sq. ft. provided**
- Also, **80 sq ft of private outdoor enclosed space for each unit required with 82 sq. ft. porch/patio provided.**

*Self- Storage Open Space Component:*

Meridian code 11-3G-2 Open Space and Amenities Applying to All Districts “total land area of all common open space shall equal 10% of gross land area of development.” In addition 50% of landscape buffer along McMillan Drive (arterial street) was count toward open space.

- 261,708 sq ft x 10% = **26,170 sf of open spaces required and approximately 31,748 sq. ft. provided.**

**Total required open space for project is 54,870 sq ft. Plans show approximately 68,176 sq. ft. of open space provided.**

The amenity package also meets the requirements of for Self-Storage facilities and for Multi-Family Unit developments which requires projects with over 75 dwelling units to have at least four (4) qualifying amenities. These following amenities are provided as planned and described below:

1. Open grassy play field with minimum dimensions of 100'x50'.
2. Public Art – space assigned in public common space of multi-family 4-plex site but art piece per Meridian requirements will be determined at a later time.
3. Playground - A playground area consisting of a tot lot play structure, park benches and a walking pathway around the park area is designed as a central feature in the common space of the multi-family site.
4. Pathways- Micro paths are provided through the multi-family common spaces as well as linkages to McMillan Drive sidewalk.

Parking: This project provides more parking than is required by code to service to guests and users with convenience.

- Self-Storage (office) - (3) parking spaces are required and (7) proposed with (1) disabled parking stall.
- Multi-family 4-plexes – all units have at least (1) covered garage space and (1) driveway space. Two-story units have 2-car garages and 2 driveway spaces. In addition there are (12) guest parking spaces located throughout the community with 4 handicapped stalls and 9 bicycle parking stalls.

Access / Roadways: This subdivision is fronted by W. McMillan Road which has a 50' off-set row and is planned for 3 lanes, plus bike lanes. The project proposes a single approach off McMillan for storage access with a second access to 4-plexes off W. Apgar Creek Lane. Also two emergency access

locations are proposed in plans. Accordingly, we met with ACHD on 10.31.16 to review access locations, roadway geometrics, rights-of-way and traffic. As proposed, ACHD will not require a Traffic Study for this project.

## **Multi-Family Residential Community – Narrative**

The site for the proposed for the residential components, specifically multi-family 4-plexes, is located at the corner of W McMillan and N Goddard Creek Way. At this location residents will enjoy close proximity to Kelly Creek Park, Heros Park and increasing retail shopping at the Ten Mile intersection. This land use will provide good transitions from busy McMillan Road into adjacent residential neighborhoods and from residential uses to the increasingly intense land uses farther west (particularly as the future corner of McMillan Road and Ten-Mile continues to develop).

Residential project perimeters will primarily consist of landscape buffers per Meridian Code. Within the 25' wide McMillan buffer will be a 4' berm and a mix of vegetation types including evergreen and several preserved existing trees. Along Goddard Creek the setback/landscape buffer will extend the landscape another 12' to 42' with a mix of plant types for seasonal interest. It was suggested from one neighbor at the 12/19/2016 neighborhood meeting that the existing vinyl fencing along west Goddard Creek be removed. While we concur with this desire to create a more attractive streetscape this matter must be deliberated with Selway HOA that owns and maintain this fence. Existing privacy fencing along the Selway Apartments will be preserved. Continuous storage units along the West provide separation between uses. The buffer storage and 4-plex community is largely 25'; however, we request a slightly reduced vegetative buffer of 20' where parallel parking is provided along the drive.

Primary access into the multi-family 4-plex community will be the local street W. Apgar Creek Lane with a secondary emergency access onto McMillan. A small office and related parking and mail boxes are located near this entrance. Consistent with adjacent structures this 4-plex community is designed with 2 and 3 story residential units. Dwelling units are largely oriented to front onto McMillan, Goddard Creek and Apgar Creek with attractive landscape buffers to provide some screening of these units from traffic. Within these well planted landscape buffers, pathways will provide guest access to front patios. Internally primary resident access is provided via a loop drive (25' wide) allowing access to driveways and private garages. Along this loop drive are provided guest parking, ADA parking and bicycle parking, trash and mail boxes for residents and/or guests. A central open space greenway provide community amenities that include a play field, tot lot playground, pathways and a location for a public art piece yet to be determined.

This multi-family community is designed with two distinct building types, one building with all 3-story units and one building with wider two story units on each end. These building types provide architectural interest and diversity in floor plans to accommodate different user preferences and lifestyles. On all units porch/patios provide at least 80 sf of private enclosed outdoor space. These porches, along with the gabled entrances and stone cladding, give the project unifying architectural element constant with adjacent neighborhoods. Dwelling units will range from 1350 sf (two-story units) to 1620 sf (three story units) with three bedrooms and private garages (1-2 cars). Buildings will have a maximum height of 37'.

## **Self-Storage Facility – Narrative**

The site for the proposed Storage Facility project is located north of W. McMillan and west of the proposed multifamily 4-plexes at Goddard Creek Way. This land use is a good transition from adjacent multi-family uses to the Limited-Office use zoned for the corner of N. Cortona Way. The new storage facility offers a variety of self-storage unit sizes has centrally located office and managers residence. Parking and access off McMillan Road, approximately midway between Goddard Creek Way and Cortona Dr.

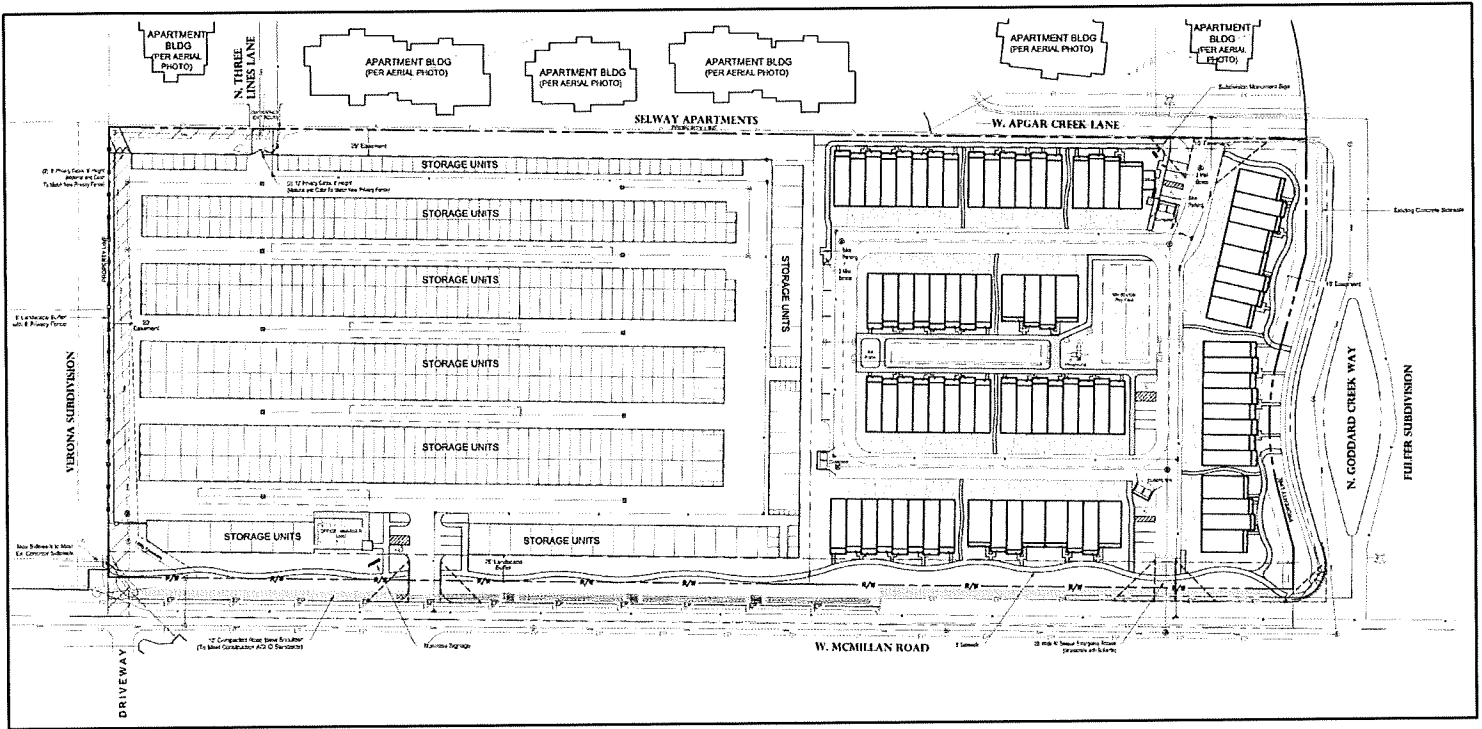
As designed, this facility provides a nearly continuous architectural perimeter wall on the south, west and north sides. On the west a 6' privacy fence, five foot landscape and driveway are located over an existing sewer easement. An all-weather access to the sewer clean-out main-hole is provided in plans. Security gates will be located at the main entrance (coded) and at the emergency access/egress already stubbed to the northern property from Selway Apartments. The northern emergency access gate will be locked.

The exterior architecture of the storage facility is designed to be attractive and unobtrusive. Architectural panels, columns with parapets, and color variations (natural tones) are used along perimeters to create an aesthetically pleasing exterior. Furthermore, landscape buffers contain a mix of plant types including evergreens for seasonal interest. Within this buffer small berms and a sidewalk connect the project to the community along McMillan.

### **CONCLUSION**

The developers and design team respectfully request approval of this subdivision Rezoning, Development Agreement Modification, Comprehensive Plan Change, Conditional Use Permit and Preliminary Plat applications for Goddard Creek subdivision as outline above. This project will provide good land-use transitions to adjacent neighborhoods, a mix of medium density housing in attractive 4-plex units and desirable self-storage facilities with attractive facades consistent with Meridian City requirements, objectives and codes.

# Site Plan



## 4-Plexes along Goddard Creek Way

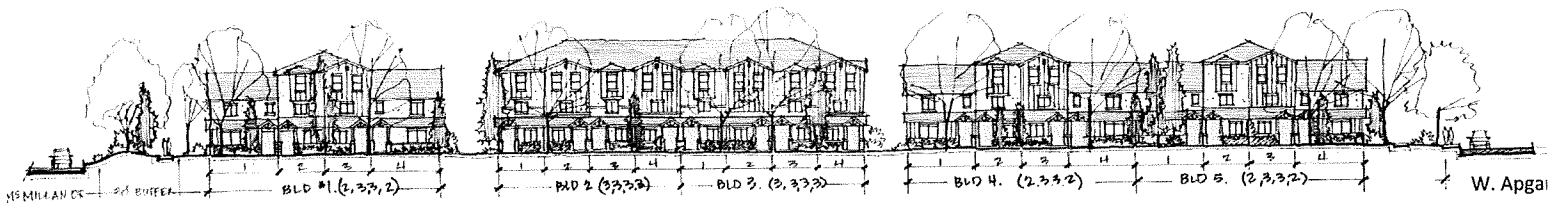


Exhibit 2

# 4-Plex Renderings (2,3,3,2)



Exhibit 2

# 4-Plex Renderings (2,3,3,2)



# 2-3-3-2 Luxury 4-plex

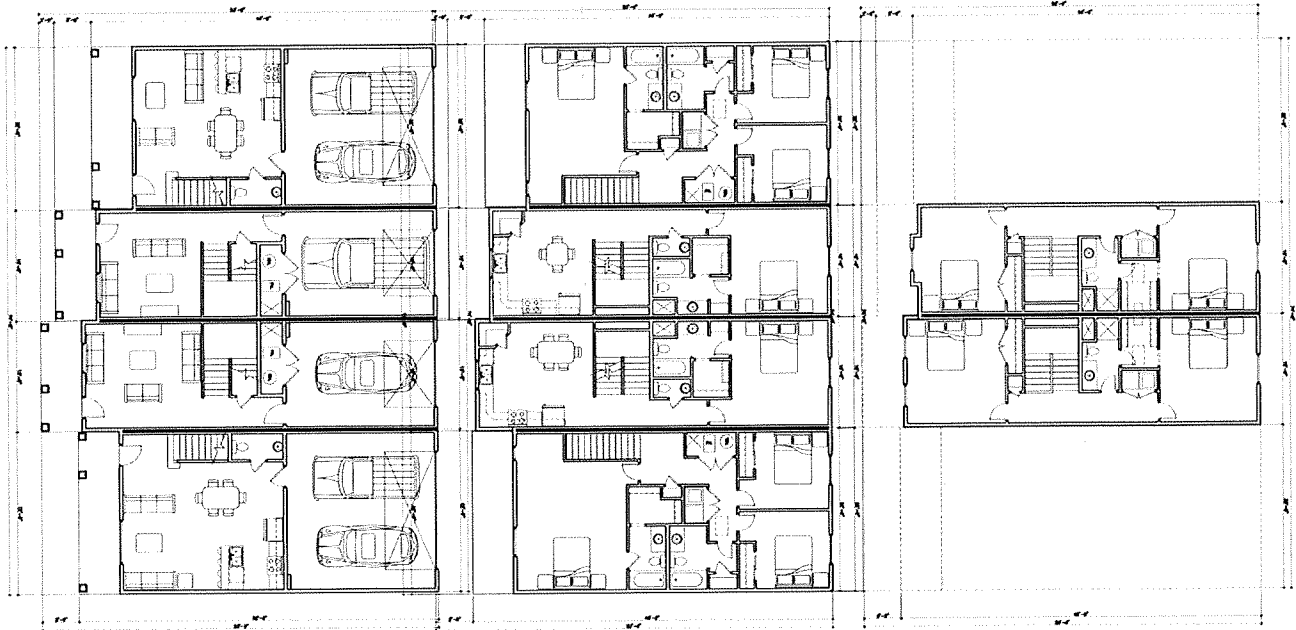
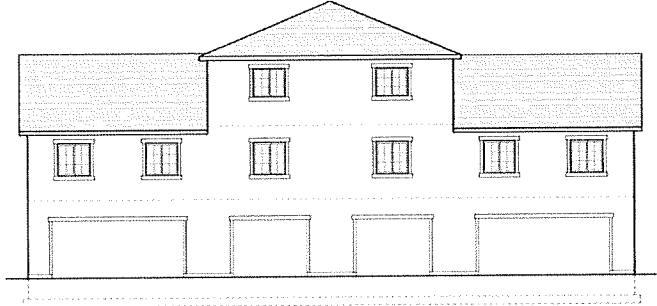
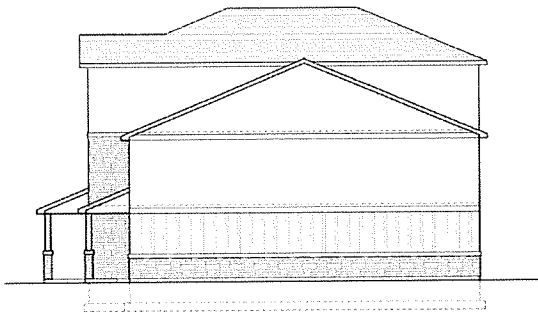


Exhibit 2

# 4-Plex Renderings (3,3,3,3)



Exhibit 2

# 4-Plex Renderings (3,3,3,3)



# 3-3-3-3 Luxury 4-plex

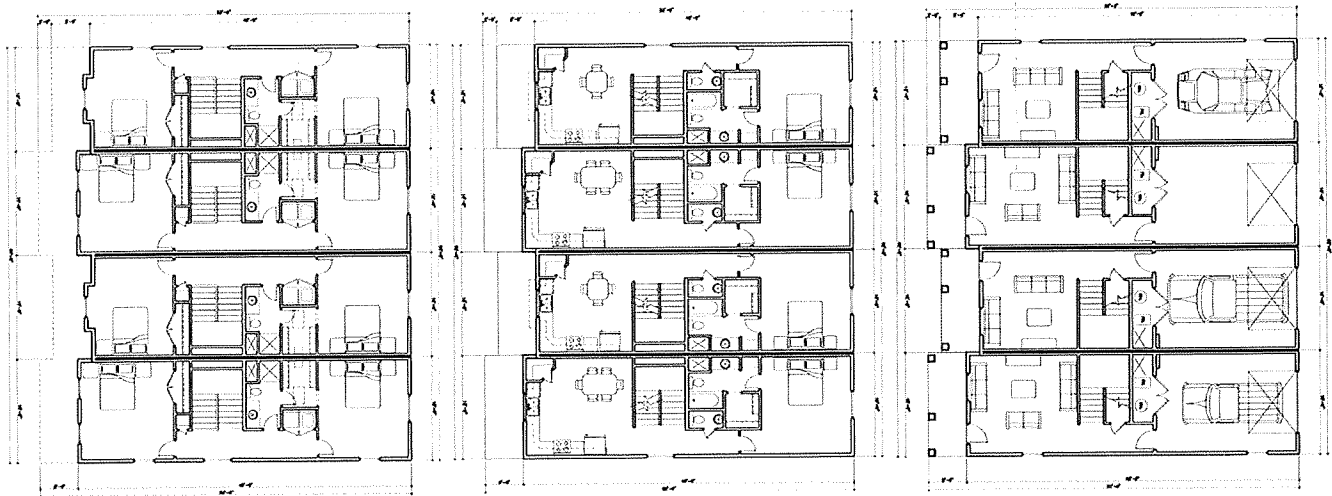
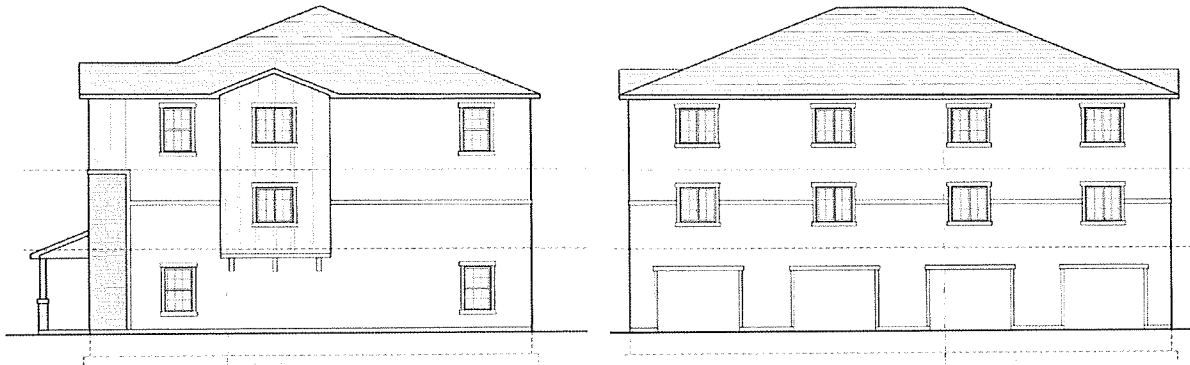
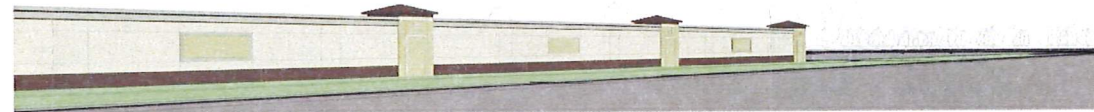
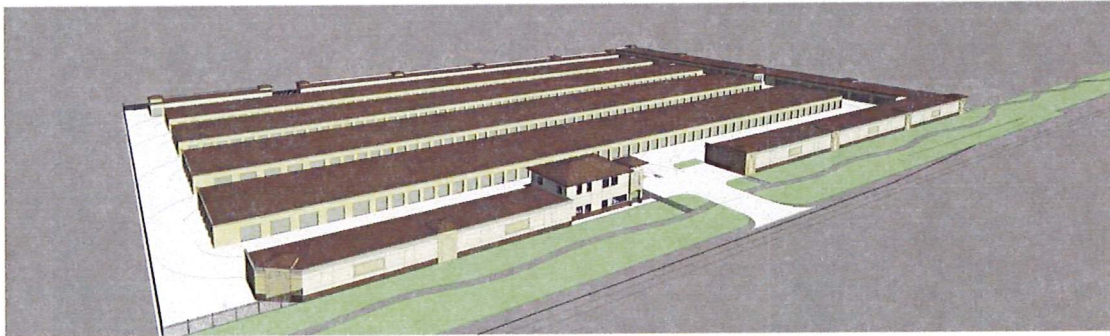
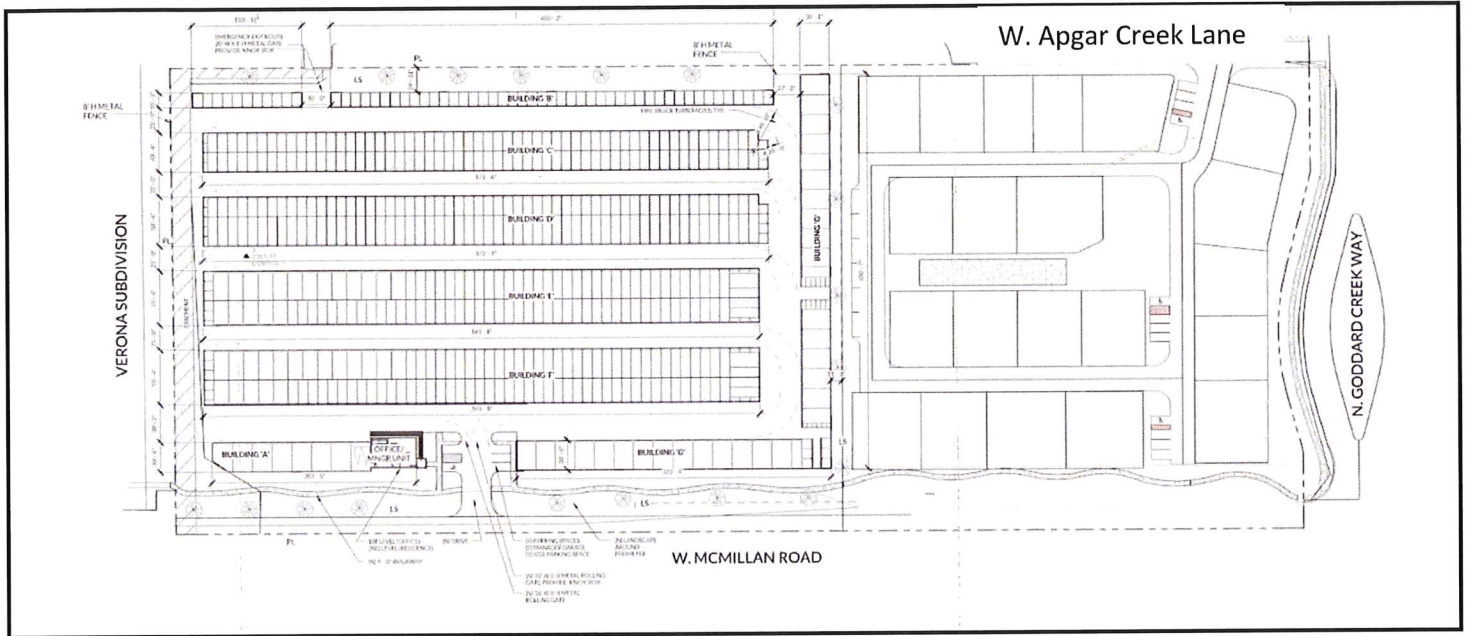
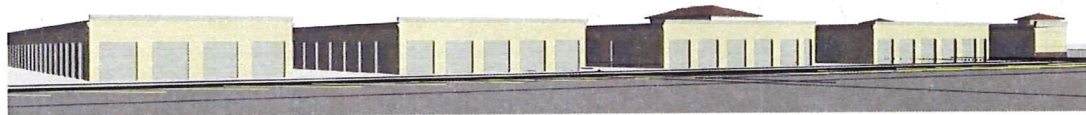


Exhibit 3

# Storage Unit Rendering and Site Plan



1 WEST McMILLAN ROAD



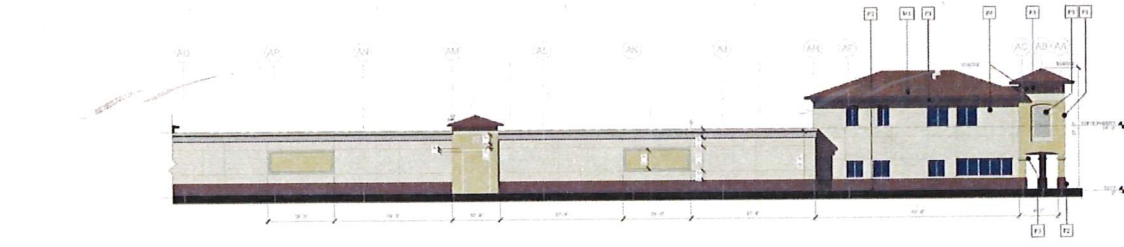
2 N. CORTANA WAY



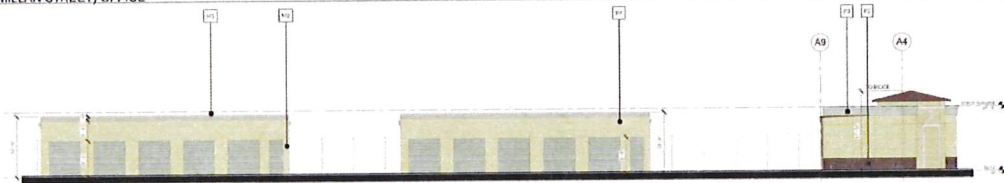
3 OFFICE (W. McMILLAN ROAD)

Exhibit 3

# Storage Unit Elevations



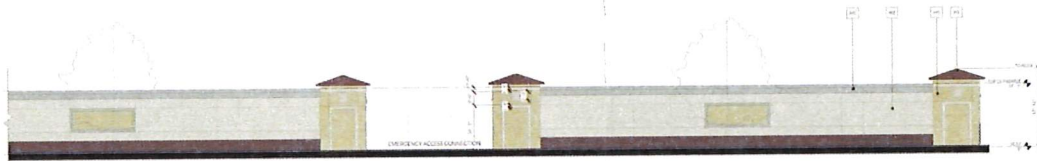
1 S. ELEV. (McMILLAN STREET) OFFICE



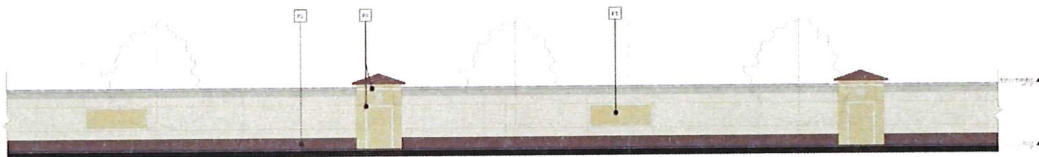
2 N. CORTANA WAY - 1-1



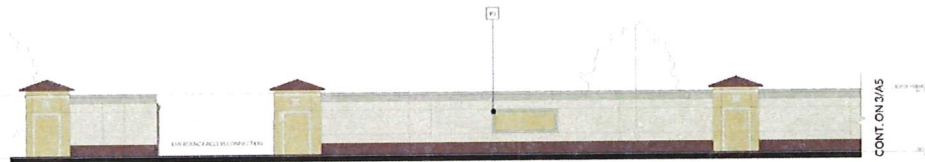
3 N. CORTANA WAY - 1-2



1 SELWAY APARTMENTS



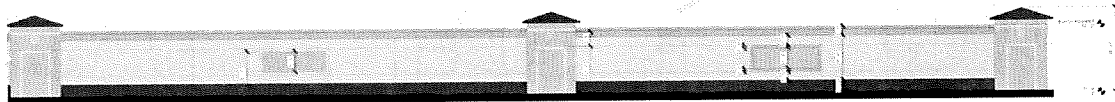
2 SELWAY APARTMENTS - CONT.



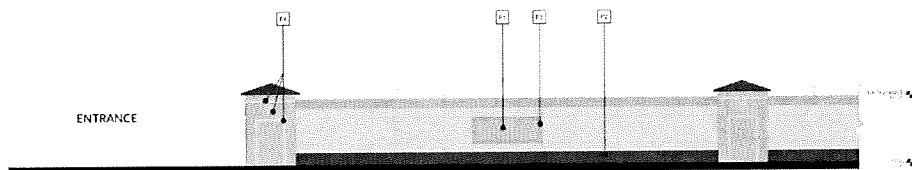
3 SELWAY APARTMENTS - CONT. 2

Exhibit 3

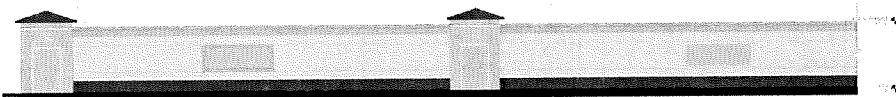
# Storage Unit Elevations



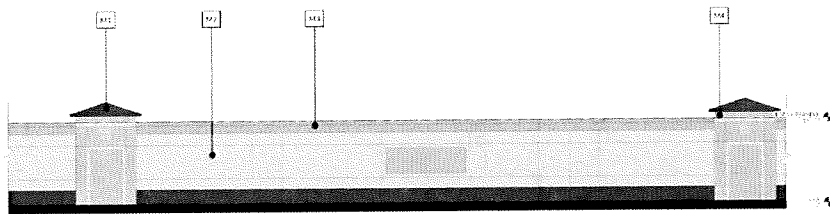
1 W. McMILLAN ROAD



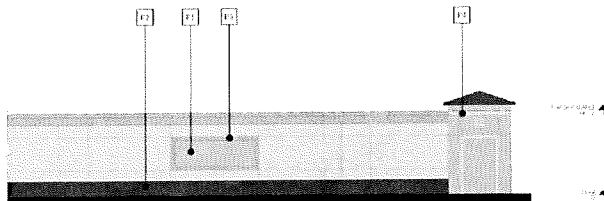
2 W. McMILLAN ROAD CONT



3 N. GODDARD CREEK WAY



1 N. GODDARD CREEK WAY - 2



2 N. GODDARD CREEK WAY - CONT.

Project: 160210  
Date: January 06, 2017  
Page: 1 of 2



**EXHIBIT 'A-1'**  
**COMMERCIAL RE-ZONE**  
**MCMILLIAN STORAGE UNITS**

A parcel of land, for the purpose of re-zoning, situated in a portion of the SE1/4 of the SW1/4 of Section 26, Township 4 North, Range 1 West, Boise Meridian, City of Meridian, Ada County, Idaho, more particularly described as follows:

**COMMENCING** at an aluminum cap monument marking the southwest corner of said Section 26, from which a brass cap monument marking the southeast corner of the SW1/4 of said Section 26 bears S88°58'46"E a distance of 2602.80 feet; thence along the south line of said Section 26, S88°58'46"E a distance of 1301.29 feet to a 5/8-inch rebar marking the southwest corner of said SE1/4 of the SW1/4 (W1/16 corner) and marking the **POINT OF BEGINNING**;

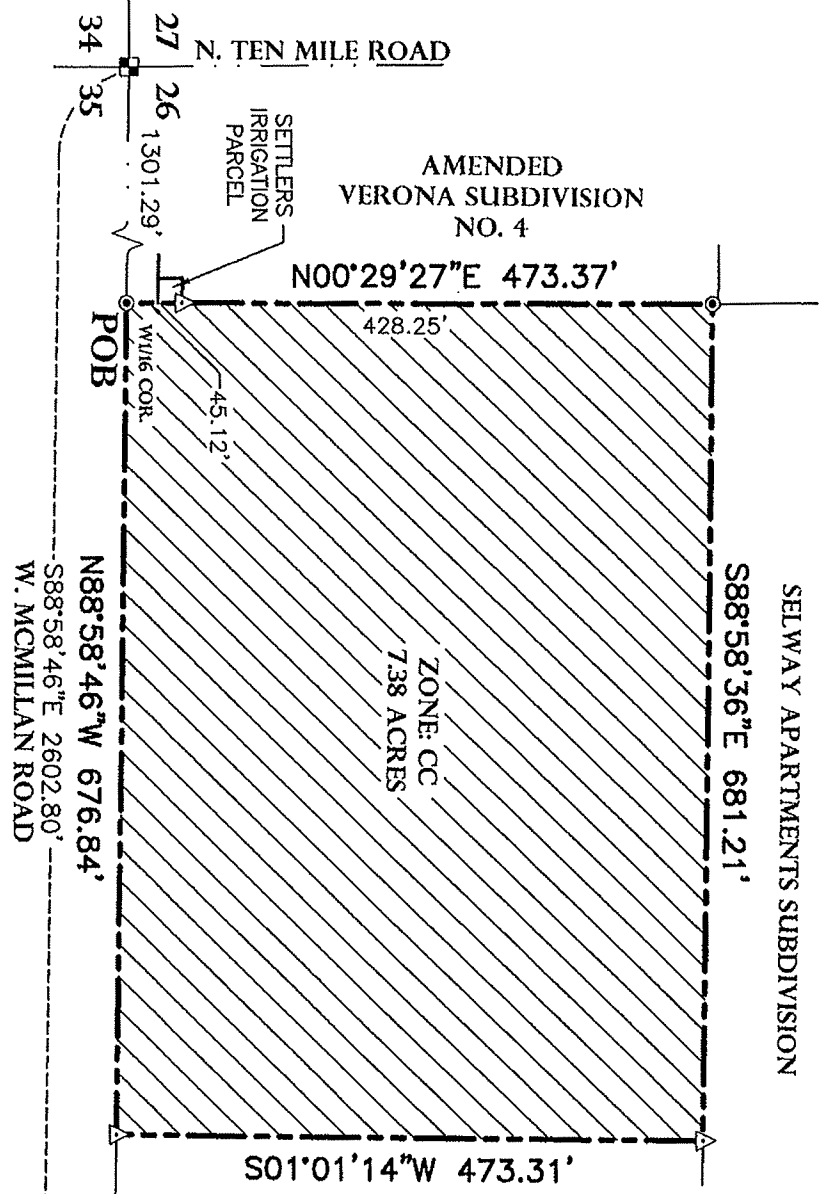
- 1) Thence leaving said south line along the west line of said SE1/4 of the SW1/4, N00°29'27"E a distance of 45.12 feet to a point marking the southeast corner of the Amended Plat of Verona Subdivision No. 4, as recorded in the official records of Ada County, in Plat Book 102, at pages 13476 through 13477;
- 2) Thence along the east line of said Amended Verona Subdivision No. 4, N00°29'27"E a distance of 428.25 feet to a 5/8-inch rebar marking the corner common to said east line and the southwest corner of the Selway Apartments Subdivision, recorded in the official records of Ada County, in Plat Book 102, at pages 13575 through 13578;
- 3) Thence leaving said east line and along the south line of said Selway Apartments Subdivision, S88°58'36"E a distance of 681.21 feet to a point;
- 4) Thence leaving said south line S01°01'14"W a distance of 473.31 feet to a point on said south line of SE1/4 of the SW1/4;
- 5) Thence along said south line N88°58'46"W a distance of 676.84 feet to the **POINT OF BEGINNING**.

Said parcel containing 7.38 acres or 321,403 square feet, more or less, and is subject to all existing easements and/or rights-of-way of record or implied.

**COMMERCIAL RE-ZONE EXHIBIT "A-2"**  
 SITUATED IN A PORTION OF THE SE1/4 OF THE SW1/4 OF SECTION 26,  
 TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN, CITY OF MERIDIAN,  
 ADA COUNTY, IDAHO  
 2017



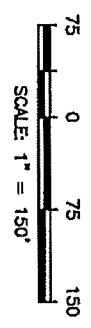
SELWAY APARTMENTS SUBDIVISION



**LEGEND**

- RE-ZONE BOUNDARY LINE
- SECTION LINE
- EXISTING ROAD RIGHT-OF-WAY
- LINE NOT TO SCALE
- FOUND ALUMINUM CAP MONUMENT
- ⊕ FOUND 5/8 INCH REBAR
- FOUND BRASS CAP MONUMENT
- △ CALCULATED POINT NOTHING SET OR FOUND
- ▨ RE-ZONE AREA
- POB POINT OF BEGINNING

Page: 2 of 2



**T-O ENGINEERS**

332 N. BROADMORE WAY  
 NAMPA, IDAHO 83687-5123  
 PHONE: (208) 442-6300 FAX: (208) 466-0944  
 EMAIL: l116021050\_surety@descriptions DATE: JAN 2017 JOB: 160210



**T-O ENGINEERS**

CONSULTING ENGINEERS, SURVEYORS AND PLANNERS  
332 N. BROADMORE WAY SUITE 101  
NAMPA, IDAHO 83687  
208-442-6300 • FAX 208-466-0944

Project: 160210  
Date: January 06, 2017  
Page: 1 of 3



***EXHIBIT 'A-1'***  
***RESIDENTIAL RE-ZONE***  
***MCMILLIAN STORAGE UNITS***

A parcel of land, for the purpose of re-zoning, situated in a portion of the SE1/4 of the SW1/4 of Section 26, Township 4 North, Range 1 West, Boise Meridian, City of Meridian, Ada County, Idaho, more particularly described as follows:

**COMMENCING** at an aluminum cap monument marking the southwest corner of said Section 26, from which a brass cap monument marking the southeast corner of the SW1/4 of said Section 26 bears S88°58'46"E a distance of 2602.80 feet; thence along the south line of said Section 26, S88°58'46"E a distance of 1978.12 feet to a point marking the **POINT OF BEGINNING**;

- 1) Thence leaving said south line N01°01'14"E a distance of 473.31 feet to a point on the south line of Selway Apartments Subdivision, recorded in the official records of Ada County, in Plat Book 102, at pages 13575 through 13578;
- 2) Thence along the south line of said Selway Apartments Subdivision, S88°58'36"E a distance of 476.28 feet to a 5/8 inch rebar marking the southeast corner of said Selway Apartments Subdivision and a point on the west line of Lot 1 Block 13 of Fulfer Subdivision No. 3 as recorded in the official records of Ada County in Plat Book 92 at Pages 10888 through 10892;
- 3) Thence leaving said south line and along said west line the following six courses S00°31'17"W a distance of 107.36 feet to a 5/8 inch rebar;
- 4) Thence along a tangent curve to the right, having a radius of 30.00 feet, a central angle of 15°00'00", an arc length of 7.85 feet, and a chord bearing S08°06'33"W a distance of 7.83 feet to a 5/8-inch rebar
- 5) Thence S15°36'33"W a distance of 96.54 feet to a 5/8-inch rebar;
- 6) Thence along a tangent curve to the left, having a radius of 252.01 feet, a central angle of 30°00'00", an arc length of 131.95 feet, and a chord bearing S00°36'33"W a distance of 130.45 feet to a 5/8-inch rebar;
- 7) Thence S14°23'27"E, 58.02 feet to a 5/8-inch rebar;

Project: 160210  
Date: January 06, 2017  
Page: 2 of 3

- 8) Thence  $S00^{\circ}37'38''W$  a distance of 78.37 feet to a point on said south line;
- 9) Thence leaving said west line and along said south line  $N88^{\circ}58'46''W$  a distance of 468.83 feet to the **POINT OF BEGINNING**.

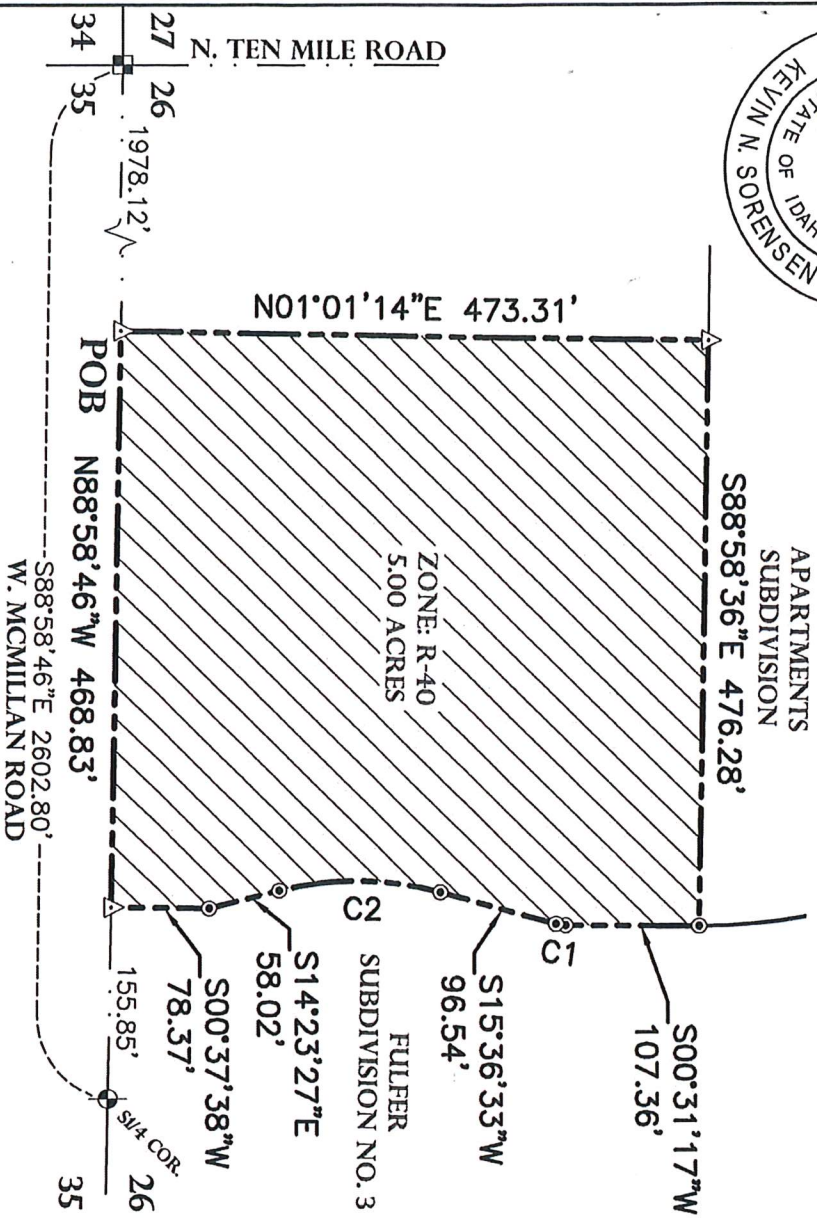
Said re-zone parcel containing 5.00 acres or 217,893 square feet, more or less, and is subject to all existing easements and/or rights-of-way of record or implied.



### RESIDENTIAL RE-ZONE EXHIBIT "A-2"

SITUATED IN A PORTION OF THE SE/4 OF THE SW/4 OF SECTION 26,  
 TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN, CITY OF MERIDIAN,  
 ADA COUNTY, IDAHO  
 2017

SELWAY  
 APARTMENTS  
 SUBDIVISION

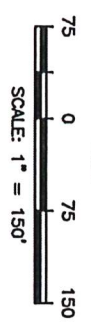


BOUNDARY CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	BEARING	CHORD
C1	7.85'	30.00'	15°00'00"	S8°06'33"W	7.83'
C2	131.95'	252.01'	30°00'00"	S0°36'33"W	130.45'

### LEGEND

- RE-ZONE BOUNDARY LINE
- SECTION LINE
- EXISTING ROAD RIGHT-OF-WAY
- LINE NOT TO SCALE
- FOUND ALUMINUM CAP MONUMENT
- FOUND 5/8 INCH REBAR
- FOUND BRASS CAP MONUMENT
- CALCULATED POINT
- NOTHING SET OR FOUND
- RE-ZONE AREA
- POINT OF BEGINNING

Page: 3 of 3



**T-O ENGINEERS**

332 N. BROADMORE WAY  
 NAMPA, IDAHO 83687-5123

PHONE: (208) 442-6300 FAX: (208) 466-0944  
 E-FILE: L:\1042\1042\_AccidentalSurvey\2\_Boundary DATE: JAN. 2017 JOB: 160267



## T-O ENGINEERS

CONSULTING ENGINEERS, SURVEYORS AND PLANNERS  
332 N. BROADMORE WAY SUITE 101  
NAMPA, IDAHO 83687  
208-442-6300 • FAX 208-466-0944

Project: 160210  
Date: December 21, 2016  
Page: 1 of 2

### *MCMILLIAN STORAGE UNITS*

A parcel of land situated in a portion of the SE1/4 of the SW1/4 of Section 26, Township 4 North, Range 1 West, Boise Meridian, City of Meridian, Ada County, Idaho, more particularly described as follows:

**COMMENCING** at an aluminum cap monument marking the southwest corner of said Section 26 from which the south one-quarter corner of said Section 26 bears S88°58'46"E a distance of 2602.80 feet; thence along the south line of said Section 26, S88°58'46"E a distance of 1301.29 feet to a 5/8-inch rebar marking the southwesterly corner of a parcel described in Corrected General Warranty Deed, Instrument No. 2014-058678, Ada County Records, and the W1/16 corner of said Section 26, and being the **POINT OF BEGINNING**;

- 1) Thence leaving said south line along the west line of said Parcel, N00°29'27"E a distance of 40.28 feet to a point marking the southeasterly corner of the Verona Subdivision No. 4, as shown on the Amended Plat thereof, recorded in the official records of Ada County, in Plat Book 102, at page 13476;
- 2) Thence along the common line of said Parcel and said Verona Subdivision No. 4, N00°29'27"E a distance of 433.09 feet to a 5/8-inch rebar marking the corner common to said common line and the southwesterly corner of the Selway Apartments Subdivision, recorded in the official records of Ada County, in Plat Book 102, at page 13575;
- 3) Thence leaving said common line and along the line common to said Parcel and the south line of said Selway Apartments Subdivision, S88°58'36"E a distance of 1157.50 feet to a 5/8-inch rebar marking a point on the west line of the Fulfer Subdivision No. 3, recorded in the official records of Ada County, in Plat Book 92, at page 10888, also being the northeasterly corner of said Parcel;
- 4) Thence leaving said common line along the common line of said Parcel, and the west line of said Fulfer Subdivision No.3, the following 10 courses; S00°31'17"W a distance of 107.36 feet to a 5/8-inch rebar;
- 5) Thence along a tangent curve to the right, having a radius of 30.00 feet, a central angle of 15°00'00", an arc length of 7.85 feet, and a chord bearing S08°06'33"W a distance of 7.83 feet to a 5/8-inch rebar;
- 6) Thence S15°36'33"W a distance of 96.54 feet to a 5/8-inch rebar;

Project: 160265

Date: December 21, 2016

Page: 2 of 2

- 7) Thence along a tangent curve to the left, having a radius of 252.01 feet, a central angle of  $30^{\circ}00'00''$ , an arc length of 131.95 feet, and a chord bearing  $S00^{\circ}36'33''W$  a distance of 130.45 feet to a 5/8-inch rebar;
- 8) Thence  $S14^{\circ}23'27''E$ , 58.02 feet to a 5/8-inch rebar;
- 9) Thence  $S00^{\circ}37'26''W$  a distance of 48.36 feet to a point;
- 10) Thence  $N88^{\circ}58'28''W$  a distance of 220.22 feet to a 5/8-inch rebar;
- 11) Thence  $S00^{\circ}37'26''W$  a distance of 5.00 feet to a point;
- 12) Thence  $S88^{\circ}58'28''E$  a distance of 220.21 feet to a point;
- 13) Thence  $S00^{\circ}37'26''W$  a distance of 25.00 feet to a point on said south line of Section 26;
- 14) Thence leaving said common line and along said south line, also being the south line of said Parcel,  $N88^{\circ}58'46''W$  a distance of 1145.66 feet to the **POINT OF BEGINNING**.

Said parcel containing 12.38 acres or 539,296 square feet, more or less, and is subject to all existing easements and rights-of-way of record or implied.



When recorded, please return to:

Scott A. Tschirgi, Chartered  
209 West Main Street  
Boise, Idaho 83702  
208-287-8200

---

**NOTICE OF CONFIDENTIALITY RIGHTS: IF YOU ARE A NATURAL PERSON, YOU MAY REMOVE OR STRIKE ANY OF THE FOLLOWING INFORMATION FROM THIS INSTRUMENT BEFORE IT IS FILED FOR RECORD IN THE PUBLIC RECORDS: YOUR SOCIAL SECURITY NUMBER OR YOUR DRIVER'S LICENSE NUMBER.**

---

**CORRECTED GENERAL WARRANTY DEED**

This document is recorded to correct the legal description in Instrument #114019445 recorded in the records of Ada County, Idaho on March 17, 2014.

FOR VALUE RECEIVED, the receipt and sufficiency of which is hereby acknowledged, Daniel G. Gibson, Jr. and Carolyn A. Gibson, husband and wife, whose mailing address is P.O. Box 88, Notus, Idaho 83656 (hereinafter referred to as the "**Grantor**"), hereby grants, bargains, sells, and conveys unto Daniel G. Gibson, Jr. and Carolyn A. Gibson, Trustees of the Gibson Family Revocable Living Trust, u/va 1/4/96 and as amended 3/12/14, whose whose current address is P.O. Box 88, Notus, Idaho 83656 (hereinafter referred to as the "**Grantee**"), the following described real property, located in Ada County, Idaho, to wit (hereinafter referred to as the "**Premises**") but excluding therefrom the property described on attached Exhibit A and B.

East half of the Southwest quarter of Section 26, Township 4 North, Range 1 West, Boise-Meridian, Ada County, Idaho.

EXCEPT a parcel of land located in the Northeast quarter of the Southwest quarter of Section 26, Township 4 North, Range 1 West, Boise-Meridian, Ada County, Idaho, more particularly described as follows:

Commencing at the South quarter corner of said Section 26; thence North 00°13'30" West 1330.17 feet (shown of record to be 1132.67 feet) along the North-South center section line of said Section 26 to the REAL

POINT OF BEGINNING; thence

South 89°46'30" West 365.90 feet; thence

North 00°13'30" West 185.90 feet; thence

North 89°46'30" East 365.90 feet; thence

South 00°13'30" East 185.90 feet to the REAL POINT OF BEGINNING.

TOGETHER WITH all of Grantor's right, title and interest in and to all water and water rights, ditch or irrigation company shares, streets, alleys and rights of way adjacent thereto, all mineral rights appurtenant thereto, and all and singular the tenements, hereditaments, and appurtenances thereunto belonging or in anywise appertaining, the reversion and reversions,

remainder and remainders, rents, issues, and profits thereof; and all estate, right, title, and interest in and to the Premises, as well in law as in equity.

TO HAVE AND TO HOLD the Premises with its appurtenances unto Grantee, its successors, heirs and assigns, forever.

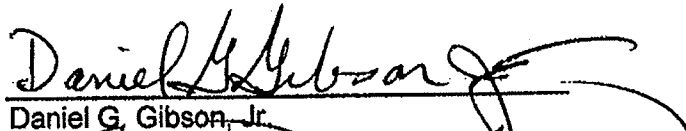
SUBJECT TO general taxes and assessments, including utility assessments for the current year, which are not yet due and payable, and will be prorated between Grantor and Grantee as of the date of execution of this deed and those liens or encumbrances of record.

AND Grantor does hereby covenant to and with Grantee, and its successors and assigns forever, that Grantor is owner in fee simple of the Premises; that Grantor has a good right to convey the fee simple; that the Premises is free from any and all liens, claims, encumbrances or other defects of title except those of record; that Grantor shall and will warrant and defend the quiet and peaceful possession of said Premises by Grantee, and its successors and assigns forever, against all other claims whatsoever except as excluded or excepted herein; and that Grantor and its heirs and assigns will, on demand of the Grantee or its heirs or assigns, execute any instrument necessary for the further assurance of the title to the Premises that may be reasonably required.

DATED effective as of the 17 day of ~~June~~, 2014.

*JULY 08*

Grantor:

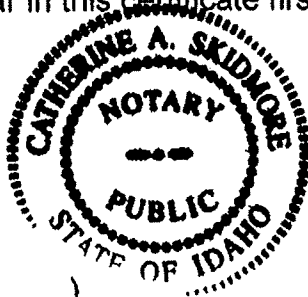
  
Daniel G. Gibson, Jr.

  
Carolyn A. Gibson

State of Idaho )  
 ) ss  
County of Ada )

On this 17<sup>th</sup> day of ~~June~~ <sup>July</sup>, 2014, before me, the undersigned Notary Public in and for said State, personally appeared Daniel G. Gibson, Jr., known or identified to me to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

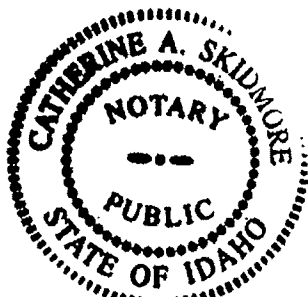


Catherine A. Skidmore  
Notary Public for Idaho  
Residing at 1010 N. 6<sup>th</sup> St. / Payette / ID. 8366  
My Commission expires 1-23-20

State of Idaho )  
 ) ss  
County of Ada )

On this 17<sup>th</sup> day of ~~June~~ <sup>July</sup>, 2014, before me, the undersigned Notary Public in and for said State, personally appeared Carolyn A. Gibson, known or identified to me to be the person whose name is subscribed to the within instrument and acknowledged to me that she executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.



Catherine A. Skidmore  
Notary Public for Idaho  
Residing at 1010 N. 6<sup>th</sup> St. / Payette / ID. 83661  
My Commission expires 1-23-20

Project: 11970  
Date: March 31, 2004

HOWELL PARCEL  
PARCEL DESCRIPTION

That portion of the Southwest 1/4 of Section 26, Township 4 North, Range 1 West, Boise Meridian, Ada County, Meridian, Idaho, being more particularly described as follows:

Commencing at the Southwest corner of Section 26, marked by a 1/2" pin, from which the West 1/4 corner of Section 26 bears North 00°21'16" East, 2,644.38 feet, marked by an aluminum cap; thence along the Southerly boundary of the Southwest 1/4 of Section 26, South 88°58'47" East, 1,301.38 feet; thence along the Westerly boundary of the East 1/2 of the Southwest 1/4 of Section 26, North 00°29'12" East, 872.31 feet to the POINT OF BEGINNING;

thence continuing along said boundary North 00°29'12" East, 1,776.03 feet to a point on the Northerly boundary of the Southwest 1/4 of Section 26;

thence along said boundary South 89°09'23" East, 1,307.45 feet to the center 1/4 corner of Section 26, marked by a 5/8" iron pin;

thence along the Easterly boundary of the Southwest 1/4 of Section 26, South 00°37'07" West, 1,136.13 feet;

thence North 89°09'33" West, 365.90 feet;

thence South 00°37'07" West, 185.90 feet;

thence South 89°09'33" East, 365.90 feet to a point on the Easterly boundary of the Southwest 1/4 of Section 26;

thence along said boundary South 00°37'07" West, 1,330.30 feet to the South 1/4 corner of Section 26, marked by a 5/8" iron pin;

thence along the Southerly boundary of the Southwest 1/4 of Section 26, North 88°58'47" West, 156.00 feet;

thence North 00°37'07" East, 25.00 feet;

thence North 88°58'47" West, 220.00 feet;

thence North 00°37'07" East, 5.00 feet;

thence South 88°58'47" East, 220.00 feet;

thence North 00°37'07" East, 48.34 feet;

thence North 14°22'53" West, 58.02 feet;

thence along a curve to the right 131.95 feet, having a radius of 252.00 feet, a tangent of 67.52 feet, a delta of 30°00'00", and a long chord which bears North 00°37'07" East, 130.44 feet;

thence North 15°37'07" East, 96.54 feet;

Exhibit  
A 1 of 2



thence along a curve to the left 7.85 feet, having a radius of 30.00 feet, a tangent of 3.95 feet, a delta of 15°00'00", and a long chord which bears North 08°07'07" East, 7.83 feet;

thence North 00°37'07" East, 196.49 feet;

thence along a curve to the left 89.27 feet, having a radius of 155.00 feet, a tangent of 45.91 feet, a delta of 33°00'00", and a long chord which bears North 15°52'53" West, 88.04 feet;

thence North 32°22'53" West, 220.13 feet;

thence along a curve to the right 48.17 feet, having a radius of 345.00 feet, a tangent of 24.12 feet, a delta of 08°00'00", and a long chord which bears North 28°22'53" West, 48.13 feet;

thence North 24°22'53" West, 25.46 feet;

thence South 77°41'03" West, 88.08 feet;

thence North 89°09'23" West, 893.53 feet to the POINT OF BEGINNING.

Containing 55.29 acres, more or less.

END OF DESCRIPTION

Prepared by:  
J-U-B ENGINEERS, Inc.  
Ronald M. Hodge, P.L.S.

Exhibit A  
2 of 2

Project: 10-07-030  
Date: April 26, 2007

PLAT DESCRIPTION

That portion of the East ½ of the Southwest ¼ of Section 26, Township 4 North, Range 1 West, Boise Meridian, Meridian, Ada County, Idaho, and more particularly described as follows:

Commencing at the South ¼ corner Section 26; thence along the Southerly boundary line of the East ½ of the Southwest ¼ of said Section 26, North 88°58'47" West, 1,301.38 feet to the Southwest corner of said East ½ of the Southwest ¼; thence along the Westerly boundary line of said East ½ of the Southwest ¼, North 00°29'12" East, 473.30 feet to the POINT OF BEGINNING;

thence continuing along said line and the Easterly boundary of Verona Subdivision No. 2, North 00°29'12" East, 399.01 feet to the Southwest corner of Fulfer Subdivision No. 7;

thence along the Southerly boundary line of Fulfer Subdivision No. 7, South 89°09'23" East, 893.53 feet;

thence continuing along said Southerly boundary line North 77°41'03" East, 88.08 feet to the Westerly boundary of Fulfer Subdivision No. 3;

thence along said Westerly boundary the following five courses:

1. South 24°22'53" East, 25.46 feet;
2. thence along a curve to the left 48.17 feet, having a radius of 345.00 feet, a delta of 08°00'00", and a long chord which bears South 28°22'53" East, 48.13 feet;
3. thence South 32°22'53" East, 131.26 feet;
4. thence along a curve to the right 262.06 feet, having a radius of 455.00 feet, a delta of 33°00'00", and a long chord which bears South 15°52'53" East, 258.45 feet;
5. thence South 00°37'07" West, 0.26 feet;

thence parallel with the Southerly boundary line of East ½ of the Southwest ¼ of Section 26, North 88°58'47" West, 1,157.46 feet to the POINT OF BEGINNING.

Containing 10.103 acres, more or less.

END OF DESCRIPTION

Prepared by:  
J-U-B ENGINEERS, Inc.  
Gregory E. Holkesvig, P.L.S.



**AFFIDAVIT OF LEGAL INTEREST**

STATE OF IDAHO )  
 )  
COUNTY OF ADA )

I, Daniel G. Gibson, Jr. and Carolyn A. Gibson, Trustees of the Gibson Family Revocable Living Trust  
(name) 2780 W McMillan (address)  
Meridian (city) Idaho (state)

being first duly sworn upon, oath, depose and say:

- 1. That I am the record owner of the property described on the attached, and I grant my permission to:

Brian Porter, 3057 E Red Tail Dr, Eagle, ID 83616  
(name) and/or assigns (address)

to submit the accompanying application(s) pertaining to that property.

- 2. I agree to indemnify, defend and hold the City of Meridian and its employees harmless from any claim or liability resulting from any dispute as to the statements contained herein or as to the ownership of the property which is the subject of the application.
- 3. I hereby grant permission to City of Meridian staff to enter the subject property for the purpose of site inspections related to processing said application(s).

Dated this 12<sup>th</sup> day of October, 20 16

Carolyn A. Gibson Daniel G. Gibson  
(Signature)

SUBSCRIBED AND SWORN to before me the day and year first above written.



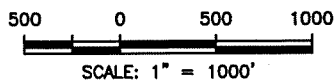
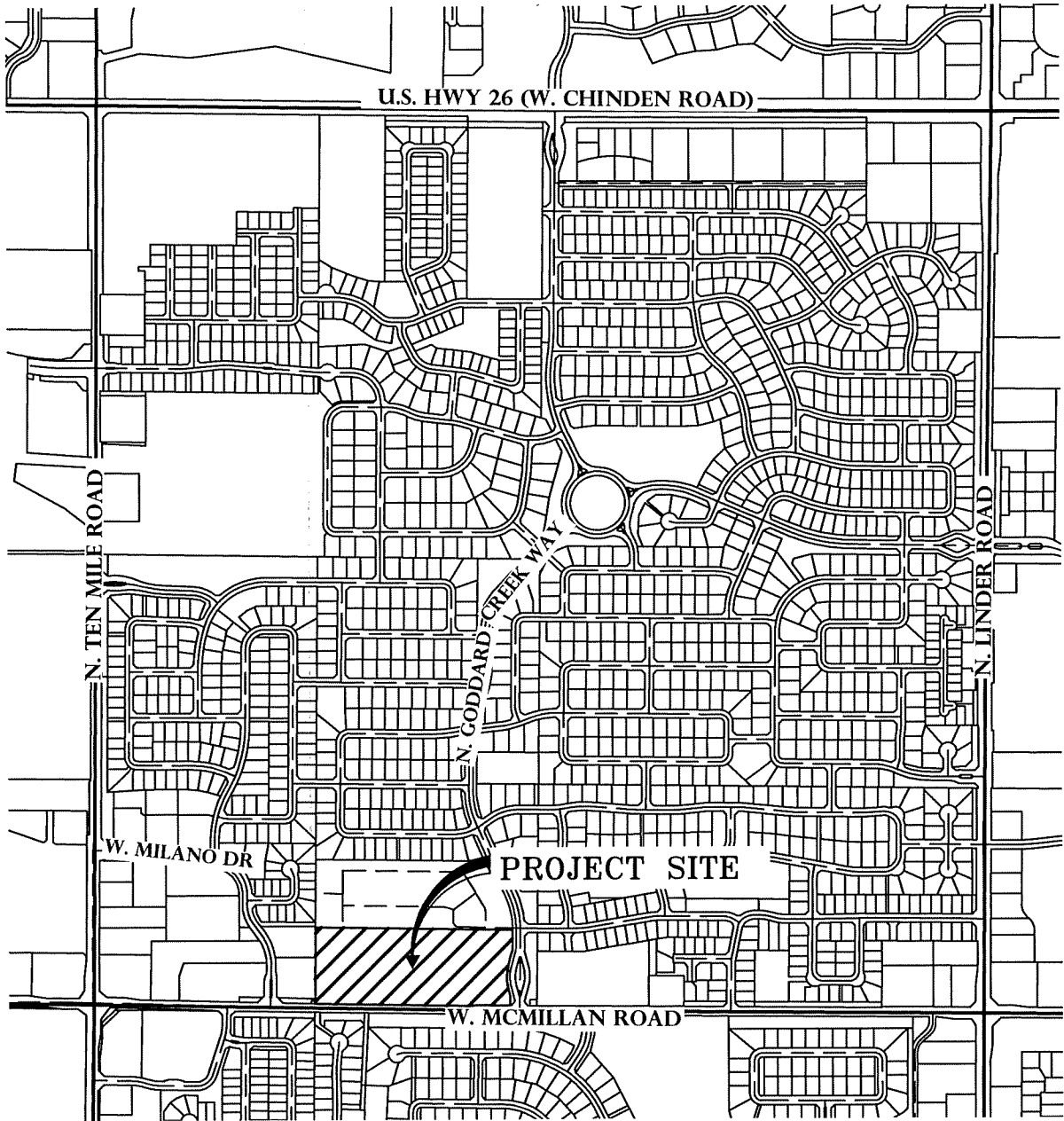
Kara L Fulcher  
(Notary Public for Idaho)

Residing at: Meridian

My Commission Expires: 5-17-2019

# MCMILLAN PLACE SUBDIVISION

SCALED VICINITY MAP



**T-O ENGINEERS**

332 N. BROADMORE WAY  
NAMPA, IDAHO 83687-5123

PHONE: (208) 442-6300

FAX: (208) 466-0944

E-FILE: 160210-VICINITY MAP.DWG

DATE: JANUARY 2017 JOB: 160210

# CITY OF MERIDIAN

## PRE-APPLICATION MEETING NOTES

Project/Subdivision Name: McMillan & Ten Mile Apartments & Storage Facility

Date: 12/6/16

Applicant(s)/Contact(s): James Doolin, John Carpenter

City Staff: Sonya (for Josh), Caleb, Bruce

Location: 2780 W. McMillan Rd.

Size of Property: 12.25

Comprehensive Plan FLUM Designation: Office & HDR

Existing Use: SFR

Existing Zoning: R-4

Proposed Use: multi-family residential, self-service storage facility

Proposed Zoning: R-40 & C-C

Surrounding Uses: SFR, MFR, office zoned property

Street Buffer(s) and/or Land Use Buffer(s): 25' along McMillan Rd.; 25' on C-C zoned property to residential uses (west & north) – may request a reduced buffer width from City Council per UDC 11-3B-9C.2

Open Space/Amenities/Pathways: 5' wide detached sidewalks required along McMillan Rd.; comply with specific use standards listed in UDC 11-4-3-27 for open space & site amenities; no pathway required.

Access/Stub Streets/Street System: Access via N. Goddard Creek Way or Apgar Way for storage facility or request a waiver from Council to UDC 11-3A-3 for access via McMillan; access via McMillan for apartments; cross-access exists from the north per the Selway Apartments plat – provide reciprocal cross-access easement to Selway; cross-access to west

Waterways/ Floodplain/Topography/Hazards: None

History: AZ-02-010 (Ord. #03-998, DA #103012598) Lochsa Falls

Additional Meeting Notes:

- Amend development agreement as necessary to accommodate the proposed development
- Amend Future Land Use Map in the Comprehensive Plan to change land use designation to MU-C
- Rezone eastern portion of the site to C-C for a self-service storage facility; rezone western portion of site to R-40
- A preliminary plat is required to subdivide property
- Comply with dimensional standards for the R-40 district in UDC Table 11-2A-8 and for the C-C district in UDC Table 11-2B-3
- A conditional use permit is required for a self-service storage facility in the C-C district and for a multi-family development in the R-40 district
- Comply with specific use standards for self-service storage facilities in UDC 11-4-3-34; and multi-family developments in 11-4-3-27

*Note: A Traffic Impact Study (TIS) will be required by ACHD for large commercial projects and any residential development with over 100 units. To avoid unnecessary delays & expedite the hearing process, applicants are encouraged to submit the TIS to ACHD prior to submitting their application to the City. Not having ACHD comments and/or conditions on large projects may delay hearing(s) at the City. Please contact Mindy Wallace at 387-6178 or Christy Little at 387-6144 at ACHD for information in regard to a TIS, conditions, impact fees and process.*

**Other Agencies/Departments to Contact:**

- |   |   |  |
|---|---|--|
| <input type="checkbox"/> Ada County Highway Dist. (ACHD)    | <input type="checkbox"/> Nampa Meridian Irrigation Dist. (NMID) | <input type="checkbox"/> Public Works Department |
| <input type="checkbox"/> Idaho Transportation Dept. (ITD)   | <input type="checkbox"/> Settler's Irrigation District          | <input type="checkbox"/> Building Department     |
| <input type="checkbox"/> Republic Services                  | <input type="checkbox"/> Police Department                      | <input type="checkbox"/> Parks Department        |
| <input type="checkbox"/> Central District Health Department | <input type="checkbox"/> Fire Department                        | <input type="checkbox"/> Other: _____            |

**Application(s) Required:**

- |  |   |   |
|--|---|---|
| <input type="checkbox"/> Administrative Design Review        | <input type="checkbox"/> Conditional Use Permit Modification/Transfer | X Rezone  |
| <input type="checkbox"/> Alternative Compliance              | X Development Agreement Modification                                  | <input type="checkbox"/> Short Plat               |
| <input type="checkbox"/> Annexation                          | <input type="checkbox"/> Final Plat                                   | <input type="checkbox"/> Time Extension – Council |
| <input type="checkbox"/> City Council Review                 | <input type="checkbox"/> Final Plat Modification                      | <input type="checkbox"/> UDC Text Amendment       |
| X Comprehensive Plan Amendment – Map                         | <input type="checkbox"/> Planned Unit Development                     | <input type="checkbox"/> Vacation                 |
| <input type="checkbox"/> Comprehensive Plan Amendment – Text | X Preliminary Plat  | <input type="checkbox"/> Variance                 |
| X Conditional Use Permit                                     | <input type="checkbox"/> Private Street                               | <input type="checkbox"/> Other                    |

**Notes:** 1) Applicants are required to hold a neighborhood meeting in accord with UDC 11-5A-5C prior to submittal of an application requiring a public hearing (except for a vacation or short plat); and 2) All applicants for permits requiring a public hearing shall post the site with a public hearing notice in accord with UDC 11-5A-5D.3 (except for UDC text amendments, Comp Plan text amendments, and vacations). The information provided during this meeting is based on current UDC requirements and the Comprehensive Plan. Any subsequent changes to the UDC and/or Comp Plan may affect your submittal and/or application. This pre-application meeting shall be valid for four (4) months.





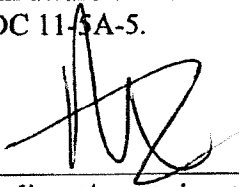
## COMMITMENT OF PROPERTY POSTING

Per Unified Development Code (UDC) 11-5A-5D, the applicant for all applications requiring a public hearing (except for a UDC text amendment, a Comprehensive Plan text amendment and/or vacations) shall post the subject property not less than ten (10) days prior to the hearing. The applicant shall post a copy of the public hearing notice of the application(s) on the property under consideration.

The applicant shall submit proof of property posting in the form of a notarized statement and a photograph of the posting to the City no later than seven (7) days prior to the public hearing attesting to where and when the sign(s) were posted. Unless such Certificate is received by the required date, the hearing will be continued.

The sign(s) shall be removed no later than three (3) days after the end of the public hearing for which the sign(s) had been posted.

I am aware of the above requirements and will comply with the posting requirements as stated in UDC 11-5A-5.



Applicant/agent signature

1-20-17

Date

## Parcel Verification

Date: **1/12/17**

The parcel information below has been researched and verified as correct by the City of Meridian Community Development Department.

Changed to: Goddard Creek Subdivision

Project Name: ~~McMillan Place Subdivision~~

Parcel Number: **S0426347150**

Acres: **12.251 Acres**

T/R/S: **4N 1W 26**

Property Owner: **Gibson Family Revocable Living Trust**  
**P.O. Box 88**  
**Notus, ID 83656**

**Keith, Kristina**

---

**From:** Parks, Shon  
**Sent:** Wednesday, January 25, 2017 10:17 AM  
**To:** Keith, Kristina  
**Subject:** FW: Goddard Creek Subdivision Name Reservation

Kristina,

I just have this email approval.

SHON PARKS, LA | *Landscape Architect*



2471 S. Titanium Place | Meridian, Idaho 83642

D 208.323.2288 M 208.921.2776

[www.to-engineers.com](http://www.to-engineers.com)



---

**From:** Sub Name Mail [<mailto:subnamemail@adaweb.net>]  
**Sent:** Friday, January 13, 2017 6:04 PM  
**To:** Parks, Shon  
**Cc:** Frisbie, Steve; O'Malley, Rob  
**Subject:** Goddard Creek Subdivision Name Reservation

January 13, 2017

Shon Parks, T-O Engineers

RE: Subdivision Name Reservation: GODDARD CREEK SUBDIVISION

At your request, I will reserve the name Goddard Creek Subdivision for your project. I can honor this reservation only as long as your project is in the approval process. Final approval can only take place when the final plat is recorded.

This reservation is available for the project as long as it is in the approval process unless the project is terminated by the client, the jurisdiction or the conditions of approval have not been met, in which case the name can be re-used by someone else.

Sincerely,



Jerry L. Hastings, PLS 5359  
*County Surveyor*  
Deputy Clerk Recorder  
Ada County Development Services  
200 W. Front St., Boise, ID 83702  
(208) 287-7912 office  
(208) 287-7909 fax

**From:** Parks, Shon [<mailto:sparks@to-engineers.com>]  
**Sent:** Tuesday, January 10, 2017 2:05 PM  
**To:** Jerry Hastings  
**Cc:** Sub Name Mail; Carpenter, John  
**Subject:** [EXTERNAL] Subdivision Name

Hi Jerry,

I'd like to request a name reservation for a subdivision. Also, for your consideration is shown 2<sup>nd</sup> choice for naming.

Subdivision Name: (1<sup>st</sup>) McMillan Place Subdivision; (2<sup>nd</sup>) Goddard Creek Subdivision

Location: City of Meridian, Northwest corner of W. McMillan Road and N. Goddard Creek Way

Parcel #: SO426347150, 2780 W McMillan, 12.251 acres

Owner(s)/Developer(s): BPX Commercial, Brian Porter; Orangevale, CA. AND, Land Development Partners, James Doolin; Salt Lake, Utah.

Name and Contact of Survey firm: T-O Engineers, Shon Parks, 208-921-2776

Please let me know if you need anything else from me.

Thank you for your time and consideration,

SHON PARKS, LA | *Landscape Architect*



2471 S. Titanium Place | Meridian, Idaho 83642

D 208.323.2288 M 208.921.2776

[www.to-engineers.com](http://www.to-engineers.com)





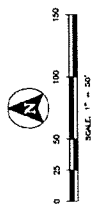


NO.	REVISIONS	DATE
1	ISSUED FOR PERMITS	12/15/2016
2	REVISED PER COMMENTS	1/11/2017
3	REVISED PER COMMENTS	1/11/2017
4	REVISED PER COMMENTS	1/11/2017
5	REVISED PER COMMENTS	1/11/2017
6	REVISED PER COMMENTS	1/11/2017
7	REVISED PER COMMENTS	1/11/2017
8	REVISED PER COMMENTS	1/11/2017
9	REVISED PER COMMENTS	1/11/2017
10	REVISED PER COMMENTS	1/11/2017

**T-O ENGINEERS**  
 CONSULTING ENGINEERS, SURVEYORS & PLANNERS  
 300 N. BROADWAY SUITE 200  
 BOISE, IDAHO 83720  
 PHONE: (208) 442-3333  
 FAX: (208) 442-3334  
 OFFICES ALSO IN:  
 MERIDIAN, IDAHO  
 SPANISH FORK, MISSOURI

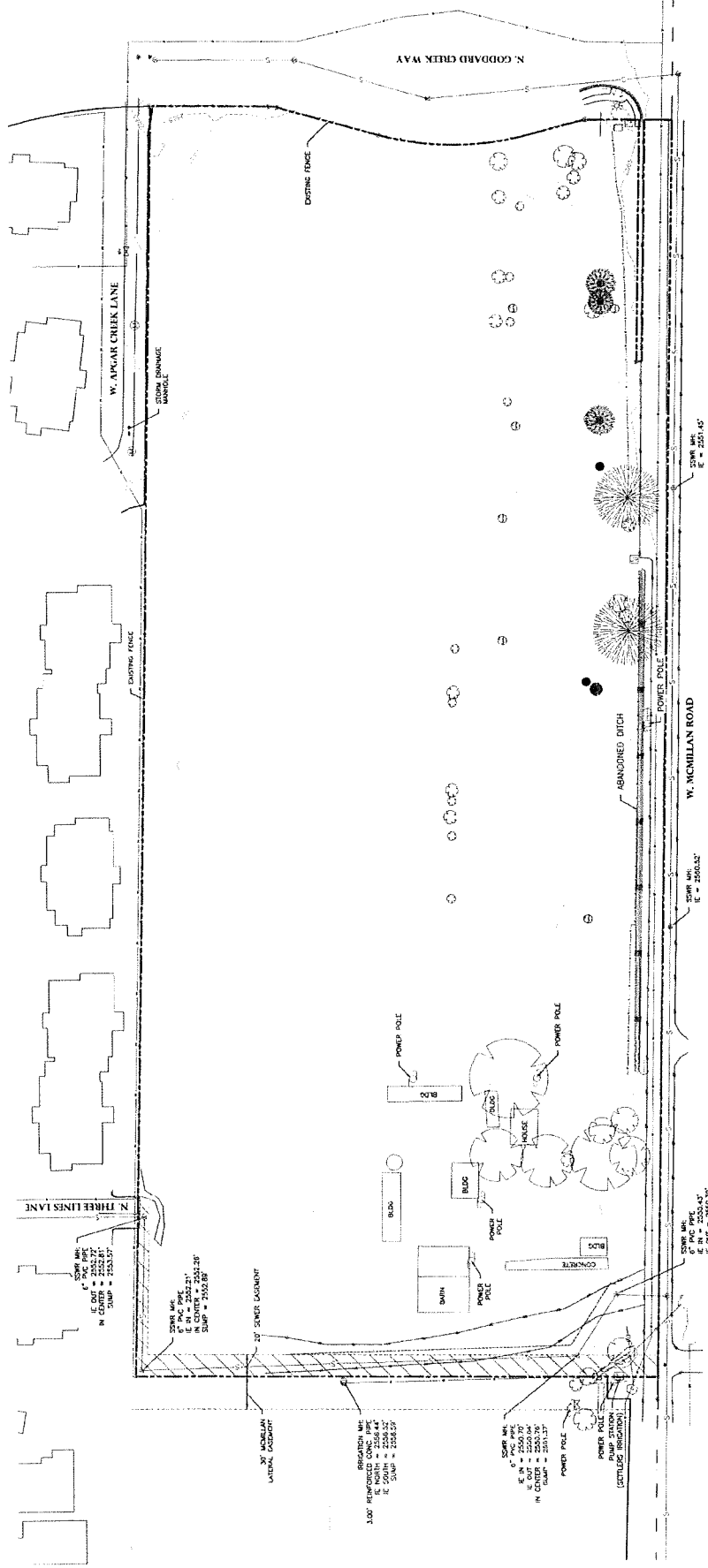
**GODDARD CREEK SUBDIVISION**  
 PRELIMINARY PLAT FOR:  
 NATURAL FEATURES  
 DATE: JANUARY 18, 2017  
 PROJECT: 16010  
**SHEET 2 OF 4**

**PRELIMINARY PLAT FOR  
 GODDARD CREEK SUBDIVISION**  
 A PORTION OF THE SE 1/4 OF THE SW 1/4 OF SECTION 26  
 TOWNSHIP 4 NORTH RANGE 1 WEST BOISE MERIDIAN  
 ADA COUNTY, IDAHO  
 2017



**LEGEND**

- FOUND 5/8" IRON ROD
- FOUND 1/2" IRON ROD
- EXISTING WATER CONDUIT
- EXISTING WATER CONDUIT
- EXISTING WATER CONDUIT
- EXISTING EDGE OF GRAVEL
- EXISTING PRESSURE PIPERION
- EXISTING WATER MAIN
- EXISTING POWER MAIN
- EXISTING SEWER MANHOLE
- EXISTING MONITOR WELL
- EXISTING WATER VALVE
- EXISTING DECIDUOUS TREE
- EXISTING BLUE SPRUCE TREE
- EXISTING PINE TREE
- EXISTING DECIDUOUS SHRUB



3594.84' ±  
 E. 251.45'

3594.84' ±  
 E. 251.45'

3594.84' ±  
 E. 251.45'

3.00" REINFORCED CONCRETE PIPE  
 15' LENGTH = 2550.00'  
 IN CENTER = 2550.00'  
 SUMP = 2550.00'

3.00" REINFORCED CONCRETE PIPE  
 15' LENGTH = 2550.00'  
 IN CENTER = 2550.00'  
 SUMP = 2550.00'

3.00" REINFORCED CONCRETE PIPE  
 15' LENGTH = 2550.00'  
 IN CENTER = 2550.00'  
 SUMP = 2550.00'











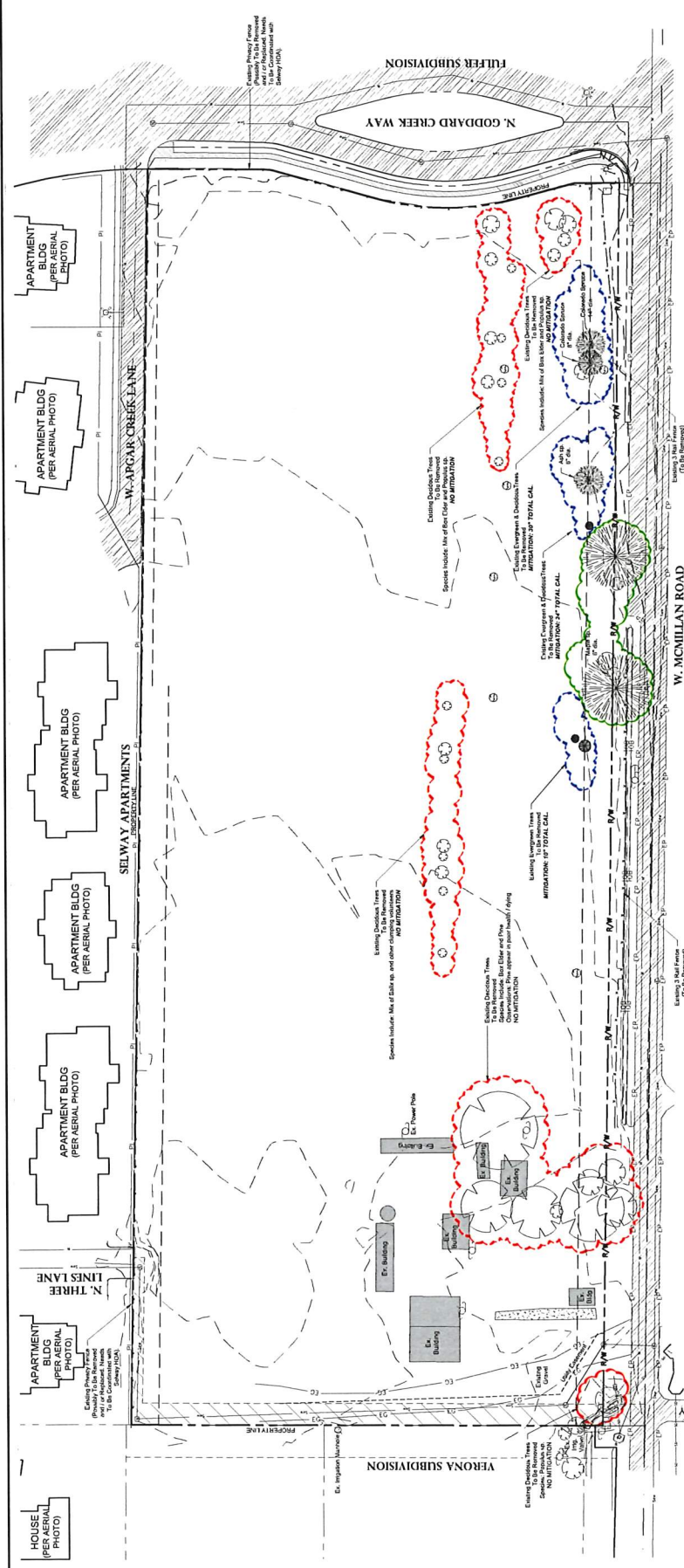






NO.	REVISIONS	DATE
1	ISSUE FOR PERMIT	11/15/2017

**T-O ENGINEERS**  
 CONSULTING ENGINEERS, SURVEYORS & PLANNERS  
 2471 S. TITANUM PLACE  
 MERIDIAN, IDAHO 83428-6703  
 PHONE: (208) 322-2248  
 FAX: (208) 322-2239  
 OFFICES ALSO IN:  
 COEUR D'ALENE, IDAHO  
 JUPITER, FLORIDA  
 SPOKANE, WA



**EXISTING CONDITIONS / TREE INVENTORY**

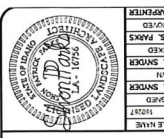


**CONSTRUCTION PROTECTION**

- All existing trees that are to be retained during construction shall be protected from damage to trunk, canopy, and root system. Protective measures shall include the use of tree guards, mulch, and other measures to prevent any form of damage within the site line.
- Tree guards shall be installed within the site line, if this is not possible, paving materials shall be allowed at a distance of the caliper of the existing tree plus 5'.
- No grade change greater than 1" shall be allowed within the site line of an existing tree.
- Any installation of new utilities within the site line of an existing tree shall conform to Meridian City Code.

DESCRIPTION	MITIGATION	REPLACEMENT CAL. REQUIRED
Existing Deciduous Tree		
Existing Evergreen Tree		
Existing Tree Grouping - To Be Removed (Undesirable Species, and/or Species in Poor Health)	No	0
Existing Tree Grouping - To Be Removed (Desirable Species, in Good Health)	Yes	64
Existing Tree Grouping (To Remain)		

MITIGATION LEGEND	DESCRIPTION
	Existing Perimeter fencing, Possibility to Be Removed with Silway HOA approval. See Plan Notes.
	Existing edge of gravel
	Existing retaining wall
	Existing storm pipe
	Existing pressurized irrigation
	Existing toe of slope
	Existing top of bank
	Existing concrete pad
	Existing road / sidewalk
	Existing street light
	Existing stop sign
	Existing power pole
	Existing transformer
	Existing irrigation valve

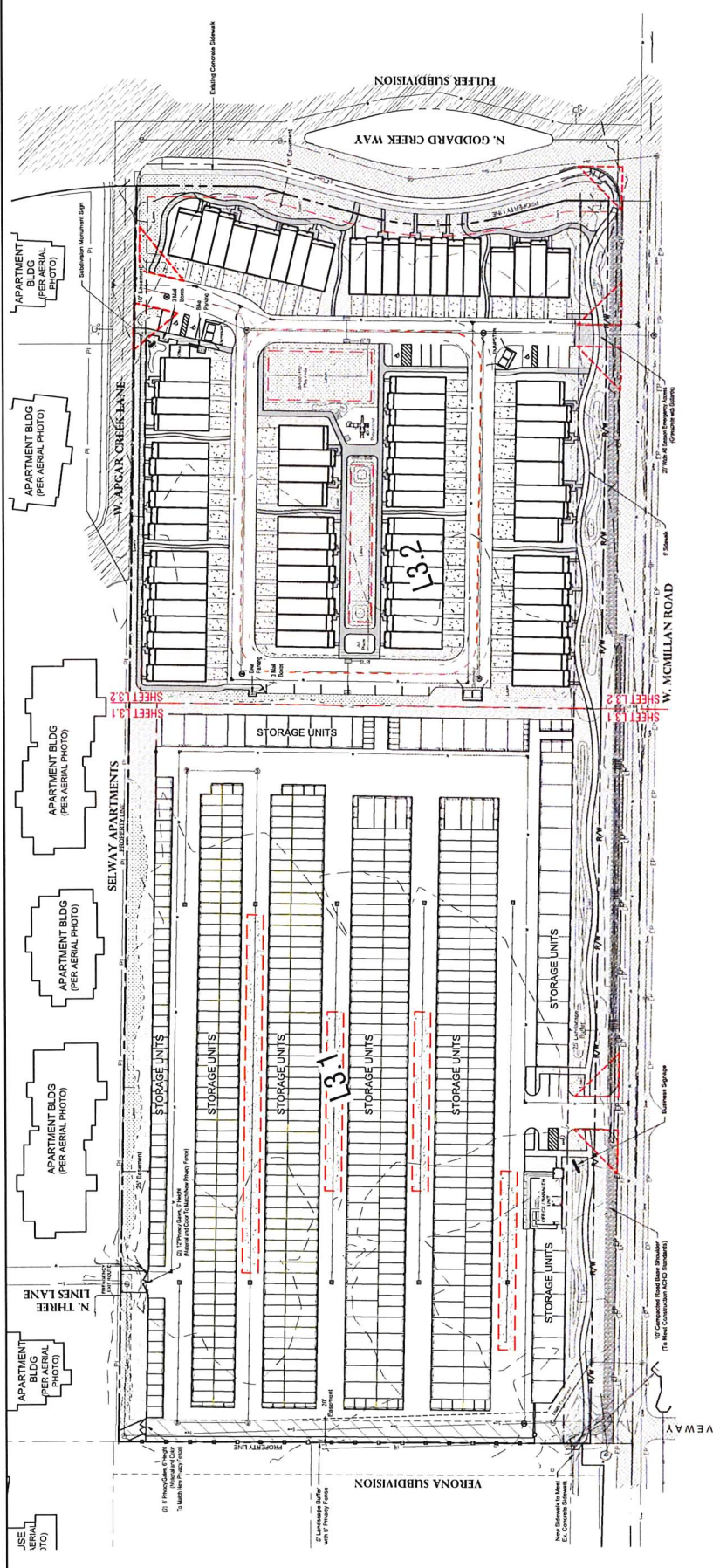


NO.	REVISIONS	DATE	BY	CHKD.
1	ISSUE FOR PERMIT			

**T.O. ENGINEERS**  
 CONSULTING ENGINEERS, SURVEYORS & PLANNERS  
 2471 S. TITANIUM PLACE  
 MERIDIAN, IDAHO 83412-6703  
 PHONE: (208) 323-2299  
 FAX: (208) 323-2298  
 OFFICE: 412 E. 10TH  
 COVINA, CA 91724

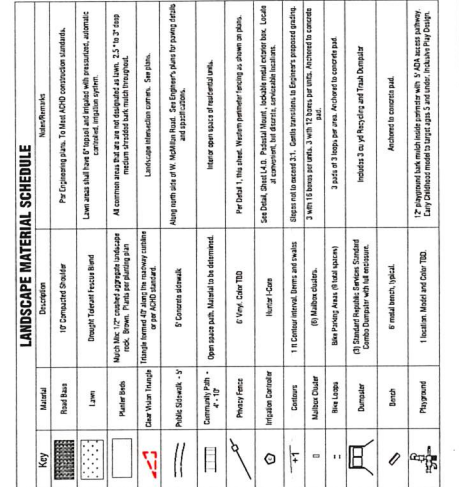
**GODDARD CREEK**  
 MERIDIAN, IDAHO  
 PRELIMINARY PLAT LANDSCAPE PLAN  
 LANDSCAPE MATERIALS SHEET

DATE: JANUARY 2017  
 PROJECT: 10027  
 SHEET 3 OF 7

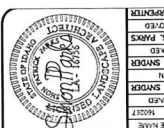


### LANDSCAPE MATERIAL SCHEDULE

Key	Material	Description	Notes/Remarks
[Symbol]	1" Concrete Slab	1" Concrete Slab	Per Engineering plans. To Meet A/C/D construction standards.
[Symbol]	2" Concrete Slab	2" Concrete Slab	Per Engineering plans. To Meet A/C/D construction standards.
[Symbol]	3" Concrete Slab	3" Concrete Slab	Per Engineering plans. To Meet A/C/D construction standards.
[Symbol]	4" Concrete Slab	4" Concrete Slab	Per Engineering plans. To Meet A/C/D construction standards.
[Symbol]	5" Concrete Slab	5" Concrete Slab	Per Engineering plans. To Meet A/C/D construction standards.
[Symbol]	6" Concrete Slab	6" Concrete Slab	Per Engineering plans. To Meet A/C/D construction standards.
[Symbol]	7" Concrete Slab	7" Concrete Slab	Per Engineering plans. To Meet A/C/D construction standards.
[Symbol]	8" Concrete Slab	8" Concrete Slab	Per Engineering plans. To Meet A/C/D construction standards.
[Symbol]	9" Concrete Slab	9" Concrete Slab	Per Engineering plans. To Meet A/C/D construction standards.
[Symbol]	10" Concrete Slab	10" Concrete Slab	Per Engineering plans. To Meet A/C/D construction standards.
[Symbol]	11" Concrete Slab	11" Concrete Slab	Per Engineering plans. To Meet A/C/D construction standards.
[Symbol]	12" Concrete Slab	12" Concrete Slab	Per Engineering plans. To Meet A/C/D construction standards.
[Symbol]	13" Concrete Slab	13" Concrete Slab	Per Engineering plans. To Meet A/C/D construction standards.
[Symbol]	14" Concrete Slab	14" Concrete Slab	Per Engineering plans. To Meet A/C/D construction standards.
[Symbol]	15" Concrete Slab	15" Concrete Slab	Per Engineering plans. To Meet A/C/D construction standards.
[Symbol]	16" Concrete Slab	16" Concrete Slab	Per Engineering plans. To Meet A/C/D construction standards.
[Symbol]	17" Concrete Slab	17" Concrete Slab	Per Engineering plans. To Meet A/C/D construction standards.
[Symbol]	18" Concrete Slab	18" Concrete Slab	Per Engineering plans. To Meet A/C/D construction standards.
[Symbol]	19" Concrete Slab	19" Concrete Slab	Per Engineering plans. To Meet A/C/D construction standards.
[Symbol]	20" Concrete Slab	20" Concrete Slab	Per Engineering plans. To Meet A/C/D construction standards.



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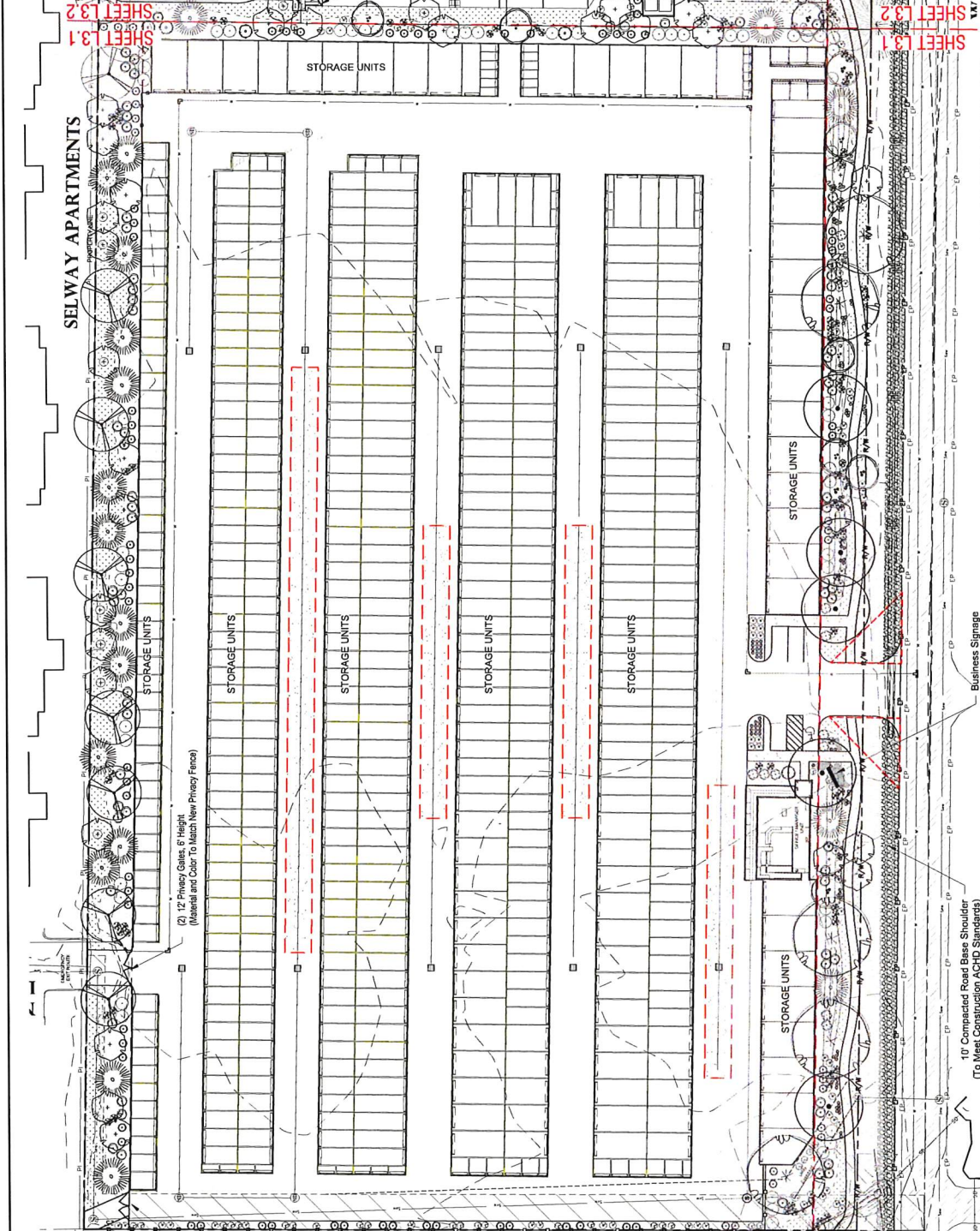


NO.	REVISIONS	DATE	BY
1	ISSUE FOR PERMIT		J. SANDER
2	REVISED		J. SANDER
3	REVISED		J. SANDER
4	REVISED		J. SANDER
5	REVISED		J. SANDER
6	REVISED		J. SANDER
7	REVISED		J. SANDER
8	REVISED		J. SANDER
9	REVISED		J. SANDER
10	REVISED		J. SANDER

T.O. ENGINEERS  
CONSULTING ENGINEERS, SURVEYORS & PLANNERS  
2471 S. TITANUM PLACE  
MERIDIAN, IDAHO 83428-6703  
PHONE (208) 223-2218  
FAX (208) 223-2033  
OFFICES ALSO IN  
COEUR D'ALENE, IDAHO  
KAMIA, IDAHO  
BOZEMAN, MONTANA  
SPRINGFIELD, ILLINOIS

GODDARD CREEK  
MERIDIAN, IDAHO  
PREPLANT LANDSCAPE PLAN  
PLANTING PLAN

DATE: JANUARY 2017  
PROJECT: SHEET L3.1 OF 7



PLANTING PLAN  
SCALE: 1" = 20'-0"

EXISTING TREES TO REMAIN	
	Existing Deciduous Tree
	Existing Evergreen Tree

Key	Common Name	Botanical Name
	SILVER MAPLE GREEN MAJOLAN	Acer saccharum Green Majolana
	WITTELEIFEN GREEN SPERENPE	Tilia cordata Green Sperepenpe
	AMERICAN SHRETTUM MADONNE OR FOLIOLEUKA	Liquidambar styraciflua Madonne or Folioleuka
	CHANTICLEER FLOWERING PEAR	Pyrus calleryana Flowering Pear
	CANADA RED CHOCOCERRY	Prunus virginiana Canada Red
	PINK JAPANESE DOBWOOD OR SHIMMERT FLOWERING CHAMPAQUE	Comptosia latifolia Pink Japanes Dobwood or Shimmert Flowering Champaque
	SEBMAN SPRUCE	Picea omorika
	WALNUT ROCK HAWLAN CEDAR	Cedrus deodara Walnut Rock
	SNYRROCKET JUMPER	Juniper scopulorum Snyrrocket
	SOPIKA CHERRY LAUREL	Prunus laurocerasus Sopika
	BREDA MOUNTAIN BOWWOOD	Buxus Green Mountain
	VIREGATED RED TWIG DOBWOOD	Cornus alba Viregated Red Twig
	GOLDEN SUNSHINE SPREA	Spiraea stans Gold Sunshine
	PINKISH ANDOX OUT WIDE	Rosa x Rubrocentra
	DWARF FOUNTAIN BRASS	Pennisetum japonicoides Dwarf Fountain
	MARLBOROUGH FAHRENHEID BRASS	Chamaecyparis aquatica Marlborough
	BRETTA WINTER HEATH	Calluna vulgaris Brett Winter Heath
	KRAMERS RED WINTER HEATH	Calluna vulgaris Kramers Red

NOTE:  
1. SEE GENERAL NOTES PAGE 11 FOR ALL APPLICABLE DETAILS.  
2. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE IDAHO PLANTING STANDARDS.  
3. FINAL PLANTING QUANTITIES SHALL BE DETERMINED BY THE CONTRACTOR.  
4. TOTAL PLANTING QUANTITIES SHALL BE THE TOTAL QUANTITIES SHOWN ON THIS PLAN.



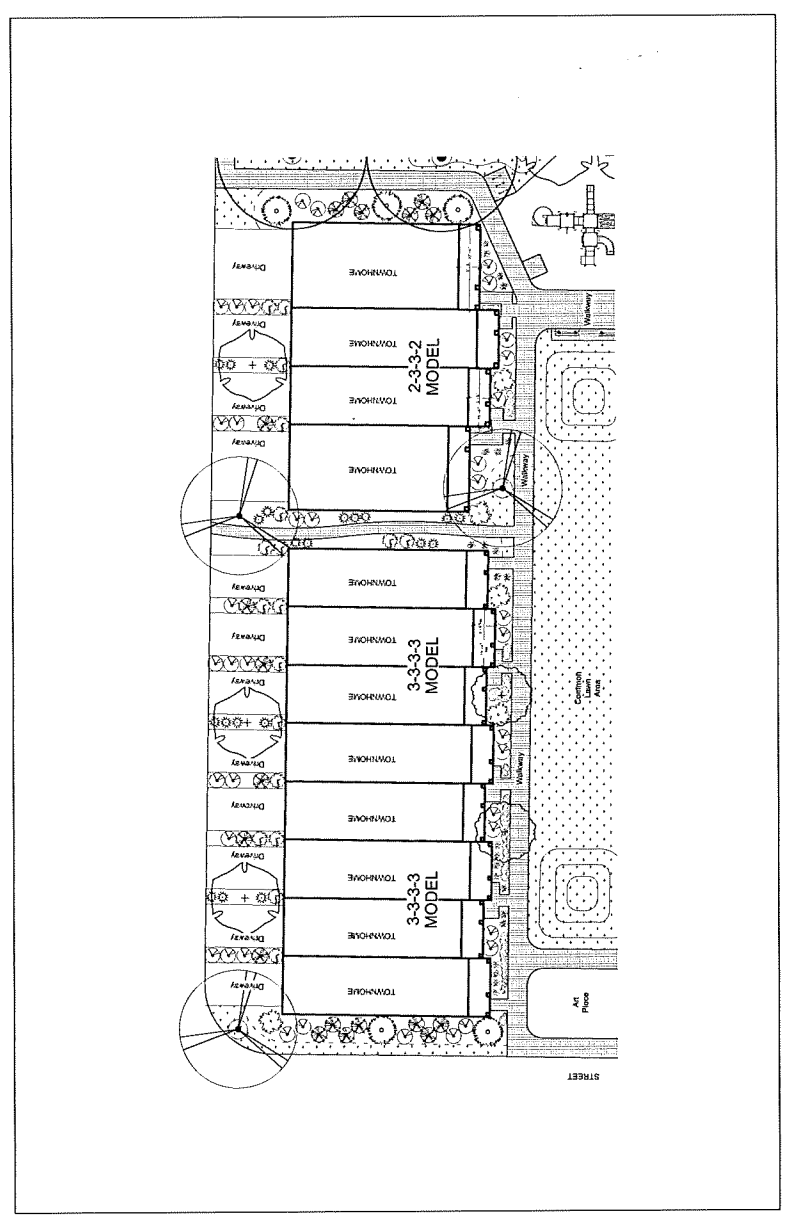


NO.	REVISIONS	DATE
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

**T-O ENGINEERS**  
 CONSULTING ENGINEERS, SURVEYORS & PLANNERS  
 2471 S. TITANUM PLACE  
 MERIDIAN, IDAHO 83412-6703  
 PHONE: (208) 323-2234  
 FAX: (208) 323-2399  
 CORNER OF ALICE DRIVE  
 AND 24TH AVENUE  
 MERIDIAN, IDAHO 83412-6703

**GODDARD CREEK**  
 MERIDIAN, IDAHO  
 PRELIMINARY LANDSCAPE PLAN  
 PLANTING PLAN

DATE: JANUARY 2012  
 PROJECT: GODDARD CREEK  
 SHEET: 3 OF 7



**TYPICAL TOWNHOME**  
**PLANTING PLAN**



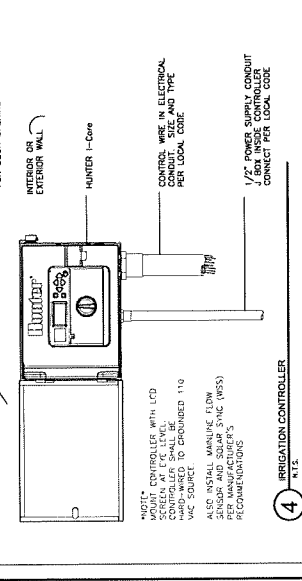
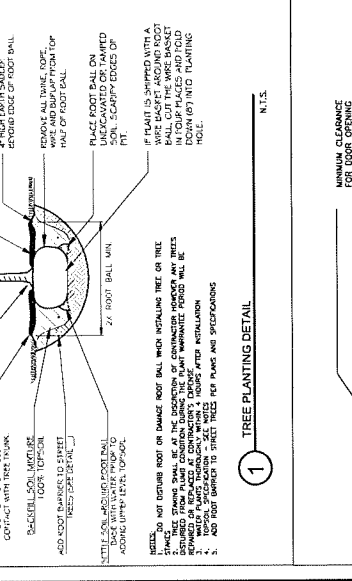
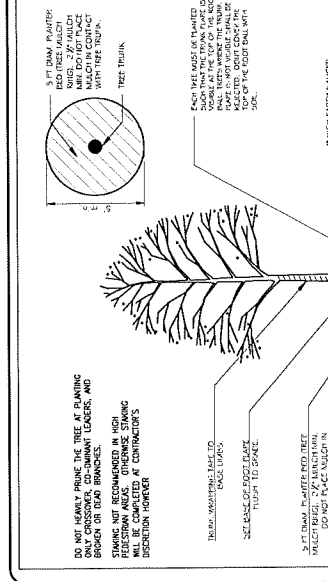
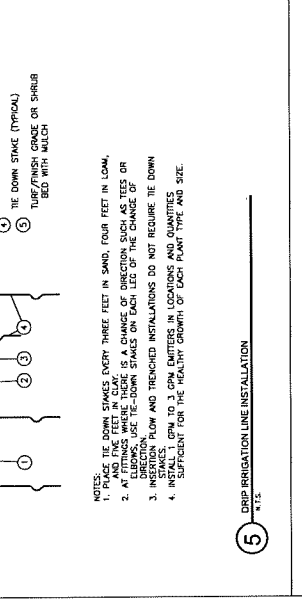
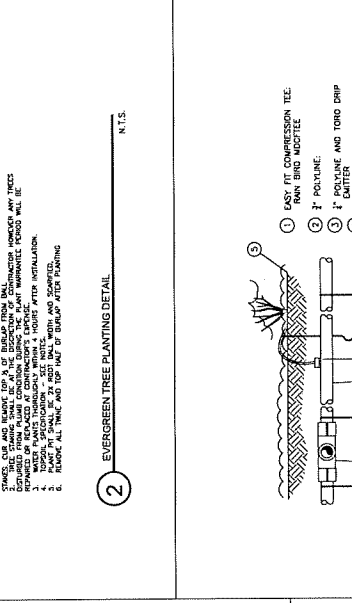
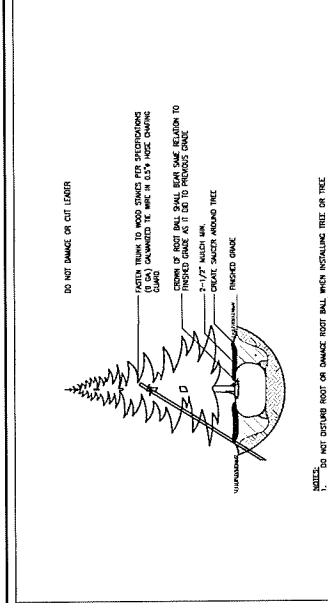
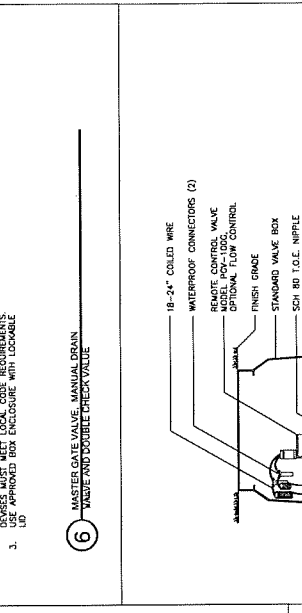
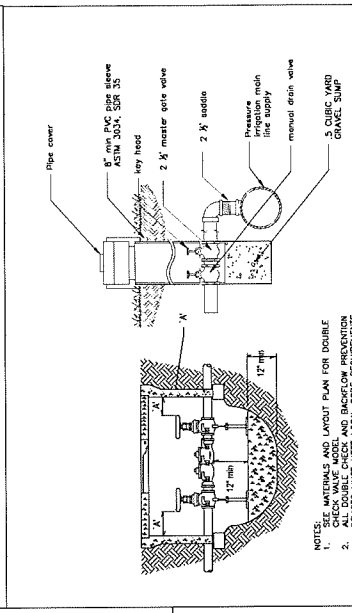
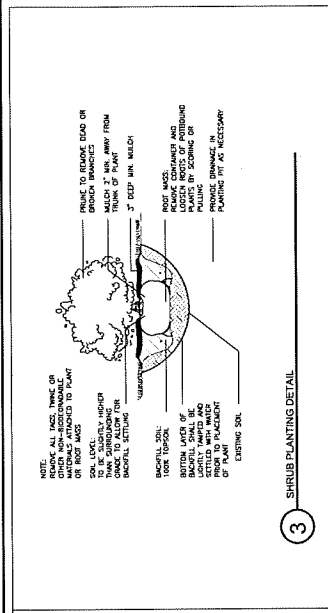
Key	Common Name	Botanical Name
●	LITTLE LEAF LINEN ORANGEPOPEE	<i>Thuja occidentalis</i>
○	WAXY CUTICLED WINDMILL OR RAINBOWBARK	<i>Yucca filamentosa</i> <i>Yucca rostrata</i>
+	WINTERLEAF FLOWERING FIG	<i>Ficus virens</i>
+	JAPANESE GYOKUDO OR SHIMIZU GYOKUDO OR CHAMPAE	<i>Prunella japonica</i> <i>Prunella chinensis</i>
○	WAXY CUTICLED WINDMILL OR RAINBOWBARK	<i>Yucca filamentosa</i> <i>Yucca rostrata</i>
○	GREEN MOUNTAIN HAWKWOOD	<i>Erigeron phillyriaefolius</i>
○	GOLDEN SHIMMER SPINNA	<i>Spirea japonica</i>
○	PINK GULF BUCKWHEAT	<i>Desmodium illinoense</i>
○	DWARF FOUNTAIN GRASS	<i>Festuca ovina</i>
○	WAXY CUTICLED WINDMILL OR RAINBOWBARK	<i>Yucca filamentosa</i> <i>Yucca rostrata</i>
○	HICOTTIA	<i>Hicottia</i>
○	FRASERIA	<i>Fraseria</i>



DATE	PROJECT	ISSUED
JANUARY 2017	GODDARD CREEK	7

**T-O ENGINEERS**  
 CONSULTING ENGINEERS, SURVEYORS & PLANNERS  
 2471 S. TRAVELER PLACE  
 MERIDIAN, IDAHO 83422-6723  
 PHONE (208) 222-2222 FAX (208) 222-2222  
 OFFICES ALSO IN  
 COLEMAN, IDAHO  
 MARY, IDAHO  
 SHOSHONE, IDAHO

**GODDARD CREEK**  
 MERIDIAN, IDAHO  
 PREPLANT LANDSCAPE PLAN  
 DETAILS



**NOTES:**

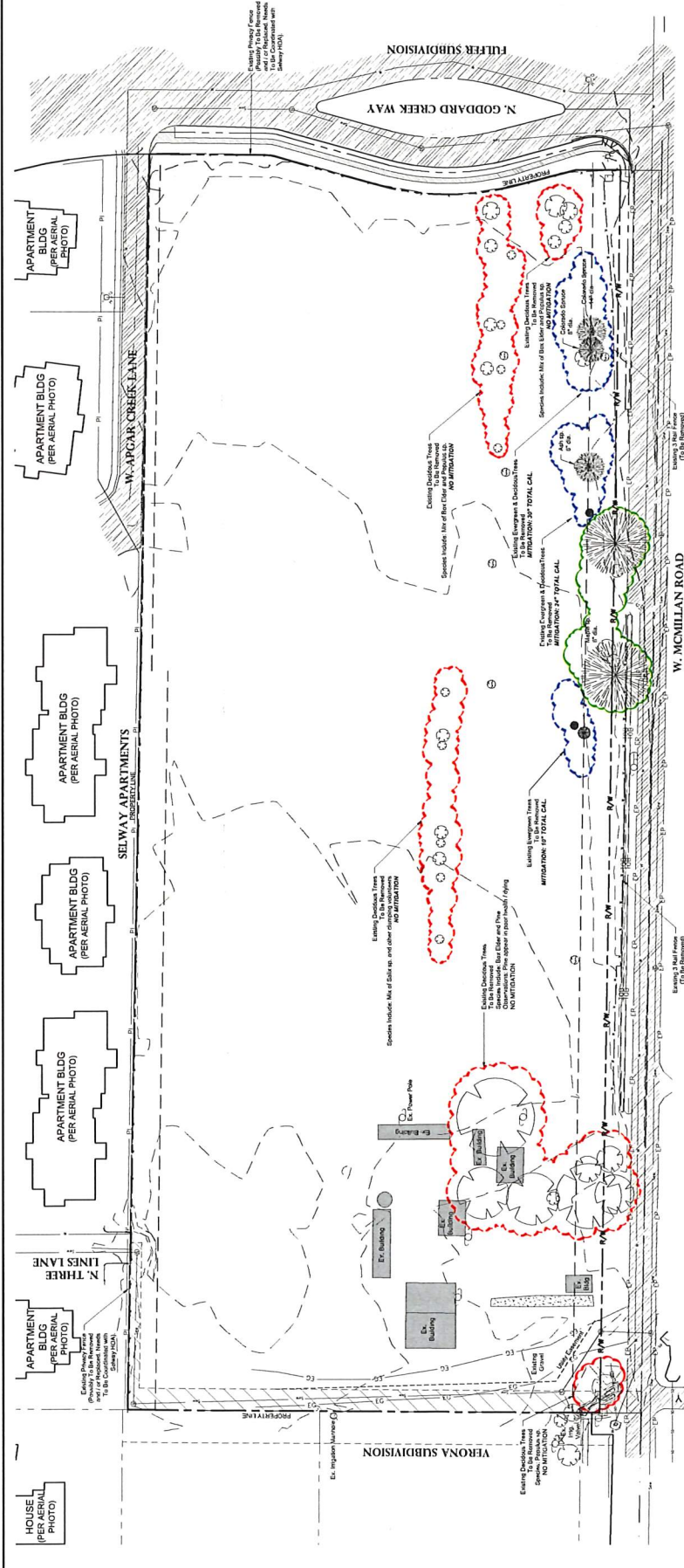
1. HUNTER-1000 ELBOWS (2), HUNTER-1000 STREET ELBOW (1)
2. HUNTER-1000 ELBOWS (2), HUNTER-1000 STREET ELBOW (1)
3. HUNTER-1000 ELBOWS (2), HUNTER-1000 STREET ELBOW (1)
4. HUNTER-1000 ELBOWS (2), HUNTER-1000 STREET ELBOW (1)
5. HUNTER-1000 ELBOWS (2), HUNTER-1000 STREET ELBOW (1)



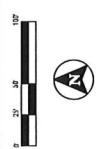


NO.	REVISED	DATE	REVISIONS
1			

**T.O. ENGINEERS**  
 CONSULTING ENGINEERS, SURVEYORS & PLANNERS  
 2471 S. TITANUM PLACE  
 MERIDIAN, IDAHO 83428-2703  
 PHONE: (208) 373-2248  
 FAX: (208) 373-2239  
 COUNTY: ADAMS COUNTY  
 STATE: IDAHO  
 SPOKANE, WA



**EXISTING CONDITIONS / TREE INVENTORY**



**CONSTRUCTION PROTECTION**

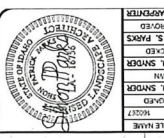
- All existing trees that are to be retained during construction shall be protected with a minimum 4-foot high, 4-inch diameter steel pipe and concrete cap. Construction activity shall be limited to the area around the tree and shall not be allowed to encroach upon the tree's drip line. This is, not possible, paving surfaces shall be allowed at a distance of the color of the existing tree plus 5).
- No grade changes greater than 6" shall be allowed within the drip line of an existing tree.
- Any installation of new utilities within the drip line of an existing tree shall conform to Meridian City Code.

MITIGATION LEGEND		MITIGATION	REPLACEMENT CAL. REQUIRED
	Existing Deciduous Tree	No	0
	Existing Evergreen Tree	Yes	64
	Existing Tree Grouping - To Be Removed (Deteriorate Species, in Good Health)	Yes	64
	Existing Tree Grouping (To Remain)		

MITIGATION LEGEND	
	Existing Perimeter Fencing, Possibility to Be Removed with Selway HOA approval. See Part Notes.
	Existing edge of gravel
	Existing retaining wall
	Existing storm pipe
	Existing pressurized irrigation
	Existing top of slope
	Existing top of bank
	Existing concrete pad
	Existing road / sidewalk
	Existing street light
	Existing stop sign
	Existing power pole
	Existing transformer
	Existing irrigation valve





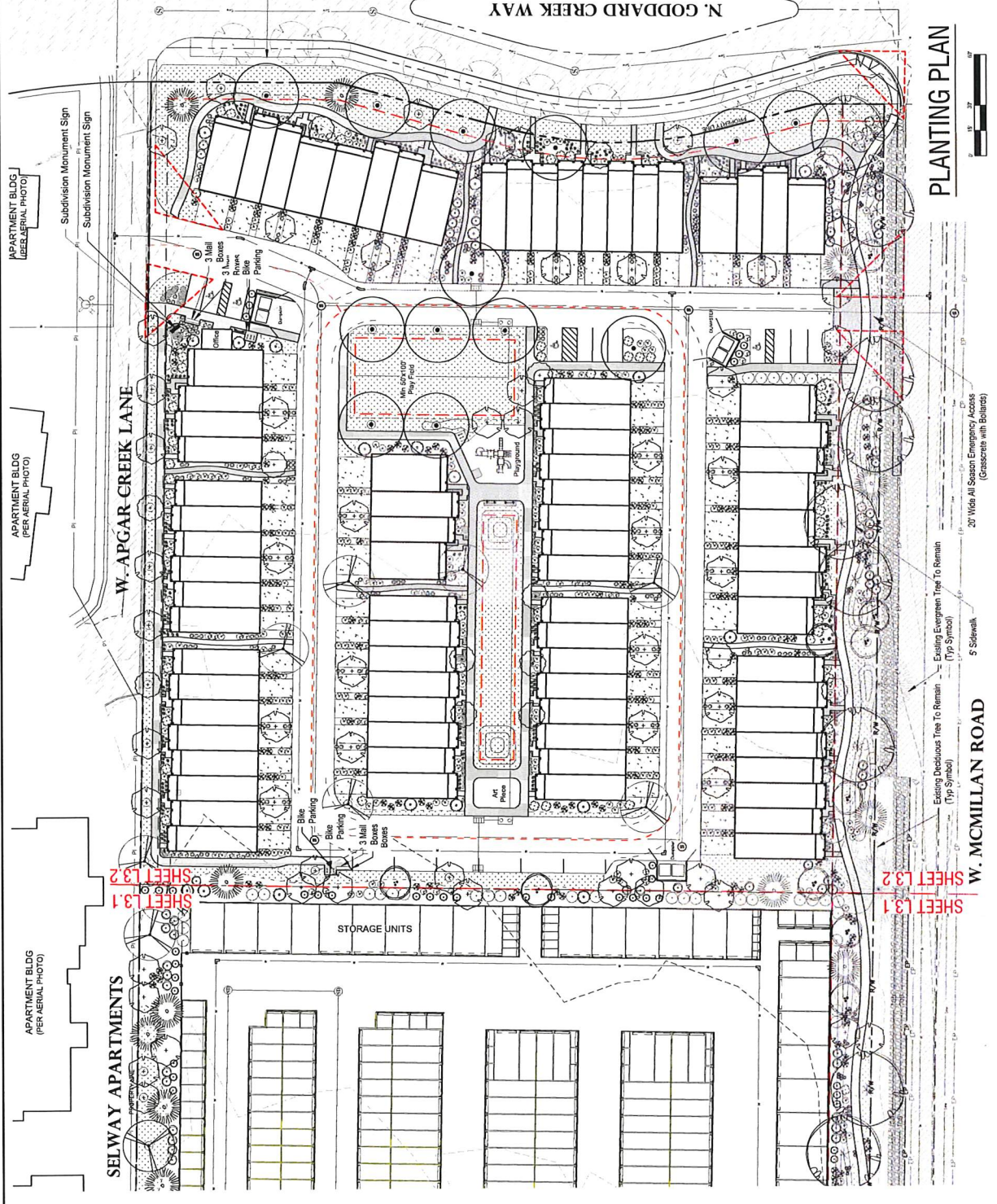


NO.	DATE	REVISIONS
1		
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T-O ENGINEERS  
 CONSULTING ENGINEERS, SURVEYORS & PLANNERS  
 2471 S. TITANUM PLACE  
 MERIDIAN, IDAHO 83642-6103  
 PHONE: (208) 222-2238  
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 OFFICE: 4150 N. COVINA #2 BLK. 2ND FL. MERIDIAN, IDAHO 83642-6103  
 SPONSOR: W.A.

GODDARD CREEK  
 MERIDIAN, IDAHO  
 PREPLAT LANDSCAPE PLAN  
 PLANTING PLAN

DATE: JANUARY 2017  
 PROJECT: MERIDIAN  
 SHEET: L3.2 OF 7



EXISTING TREES TO REMAIN	
	Existing Deciduous Tree
	Existing Evergreen Tree

PLANTING SCHEDULE	
Key	Botanical Name
	<i>Asplenium nidus</i> 'Green Mountain'
	<i>Tilia cordata</i> 'Orange'
	<i>Hydrangea arborescens</i> 'Innocence'
	<i>Pyrus ussuriensis</i> 'Doree'
	<i>Prunus virginiana</i> 'Canada Red'
	<i>Prunus serrulata</i> 'Mutsu'
	<i>Picea canadensis</i>
	<i>Juniperus horizontalis</i> 'Spartan'
	<i>Prunus pennsylvanica</i> 'Schubertiana'
	<i>Betula pumila</i>
	<i>Quercus macrocarpa</i>
	<i>Quercus alba</i> 'Stuebeliana'
	<i>Spirea japonica</i>
	<i>Spirea japonica</i> 'Munstead'
	<i>Rosa rugosa</i>
	<i>Pennisetum setosum</i>
	<i>Calamagrostis canadensis</i>
	<i>Larix laricina</i>
	<i>Thuja occidentalis</i> 'Danica'
	<i>Thuja occidentalis</i> 'Smaragd'

NOTES:  
 1. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE IDAHO PLANTING STANDARDS.  
 2. ALL TREES TO BE PLANTED SHALL BE THE SPECIES LISTED IN THE PLANTING SCHEDULE.  
 3. ALL TREES TO BE PLANTED SHALL BE THE SPECIES LISTED IN THE PLANTING SCHEDULE.  
 4. ALL TREES TO BE PLANTED SHALL BE THE SPECIES LISTED IN THE PLANTING SCHEDULE.  
 5. ALL TREES TO BE PLANTED SHALL BE THE SPECIES LISTED IN THE PLANTING SCHEDULE.

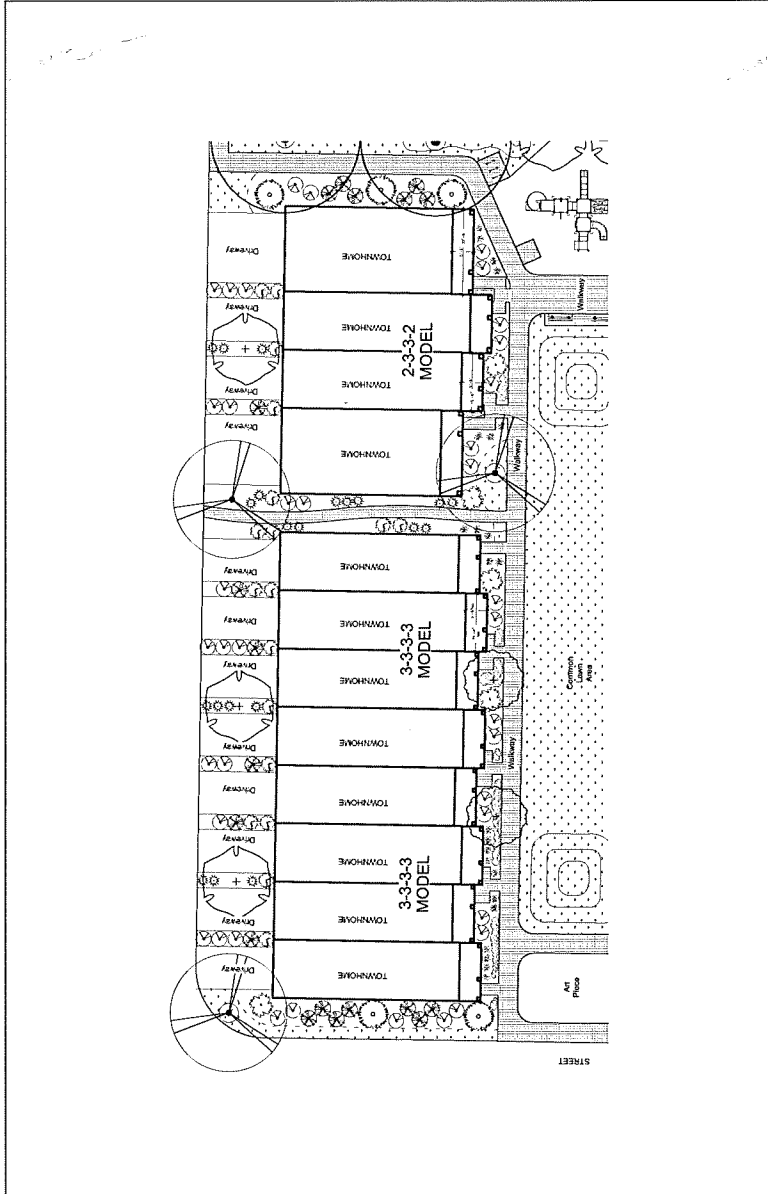


NO.	REVISIONS	DATE	PREPARED BY	CHECKED BY	APPROVED BY
1					

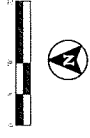
**T-O ENGINEERS**  
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**GODDARD CREEK**  
 MERIDIAN, IDAHO  
 PREPLANT LANDSCAPE PLAN  
 PLANTING PLAN

DATE: JANUARY 2017  
 PROJECT: GODDARD CREEK  
 SHEET 13 OF 7



**TYPICAL TOWNHOME**  
**PLANTING PLAN**



Key	Common Name	Botanical Name
●	LITTLE BAY LINER SPRINGBERRY	<i>Thuja occidentalis</i>
○	AMERICAN SHEETBARK YEW YEW	<i>Liquidambar styraciflua</i> <i>Liquidambar styraciflua</i> <i>Thuja occidentalis</i>
+	WHITLEDGER ELONGATING PEAR	<i>Pyrus calleryana 'Snow Star'</i>
+	NEW JERSEY DOGWOOD SUNSHINE SUNSHINE	<i>Prunella serotina</i> <i>Prunella serotina</i> <i>Prunella serotina</i>
○	PEARL RIDGE HIMALAYAN CEDAR	<i>Deodar cedrus 'Nuri Fächer'</i>
○	GREEN HIGHLAND BIRDWING	<i>Baccharis fortunei</i>
○	COLORADO BLUE SPRUCE	<i>Spirea bushii</i>
○	PINK OIL ROSE	<i>Rosa 'Feliciana'</i>
○	DWARF FOUNTAIN GRASS	<i>Pennisetum setaceum</i>
○	HAIL FORESTER FEATHER REED GRASS	<i>Calamagrostis canadensis</i>
○	HONEYBEE ENGLISH LAVENDER	<i>Lonicera sempervirens</i>
○	ORANGE BLOSSOM GRASS ORANGE BLOSSOM GRASS ORANGE BLOSSOM GRASS	<i>Stipa capensis</i> <i>Stipa capensis</i> <i>Stipa capensis</i>





**GeoTek, Inc.**  
320 East Corporate Drive Suite 300 Meridian, ID 83642-3511  
(208) 888-7010 Office (208) 888-7924 Fax www.geotekusa.com

October 25, 2016  
Project No. 1820-ID3

**BPX Commercial Inc.**

PO Box 3151  
Orangevale, CA 95662

Attention: Mr. Brian Porter

Subject: **Geotechnical Evaluation** for "McMillan Mini Storage" - a 6± Acre Storage Facility Development Located on the Northwest Corner of W. McMillan Road and N. Goddard Creek Way, Meridian, Idaho

In accordance with your request, GeoTek, Inc. (GTI) has completed a geotechnical evaluation of the subject property for the construction of multiple one- to two-story lightly loaded storage structures and associated improvements. The purpose of our study was to evaluate the soils underlying the site and to provide recommendations for project design and construction based on our findings. This report outlines the geologic and geotechnical conditions of the site based on current data, and provides earthwork and construction recommendations with respect to those conditions.

**SCOPE OF SERVICES**

The scope of our services has included the following:

1. Review of soils and geologic reports and maps for the site (Appendix A).
2. Site reconnaissance.
3. Review of aerial photographs.
4. Excavating and logging of five (5) exploratory test pits (Appendix B).
5. Obtaining samples of representative soils, as the exploratory test pits were advanced.
6. Performing laboratory testing on representative soil samples (Appendix D).
7. Assessment of potential geologic constraints.
8. Engineering analysis regarding foundation design/construction, foundation settlement, and site preparation.
9. Preparation of this report.

### **SITE DESCRIPTION**

The project site consists of a rectangular shaped parcel totaling approximately 6± acres that is generally bound an existing apartment complex to the north, North Goddard Creek Way to the east, West McMillan Road to the south, and an existing single family residence to the west (Figures 1 and 2). Currently, the majority of the property consists of farmland that has been corrugated/irrigated and cultivated for crop farming purposes over many years. From topographic maps, the site's elevation is approximately 2,560± to 2,565± feet above mean sea level. Historically, topography generally directs surface water to the west-northwest.

### **PROPOSED DEVELOPMENT**

It is our understanding that site development would consist of performing typical cut and fill earthwork to attain the desired graded configuration(s) for the construction of multiple one- to two-story lightly loaded storage structures and associated improvements.

### **FIELD STUDIES**

Subsurface conditions at the site were explored by using a rubber-tired backhoe. Five (5) test pits were advanced onsite. A log of each exploration is included with this report in Appendix B. Two (2) percolation tests were also performed and four (4) piezometers were installed on the subject site (Appendix C). Field studies were completed during October of 2016 by our field personnel who conducted field excavation location mapping, logged the excavations, and obtained samples of representative soils for laboratory testing. The approximate locations of the explorations are indicated on the enclosed Site Exploration Plan (Figure 2). The Unified Soil Classification System (USCS) Classification was used to visually classify the subgrade soils during the field evaluation.

### **REGIONAL GEOLOGY**

The subject site is situated within the Boise River Valley, which comprises the northwestern portion of the Snake River Plain physiographic province. The western portion of the Snake River Plain is aligned in a northwest-southeast direction and generally divides the Owyhee mountains to the south from the Central Idaho mountains toward the north (Wood and Clemens, 2004). The headwaters of the Boise River are located in the Central Idaho mountains east of Boise, Idaho. The river leaves the central mountains and enters the Snake River Plain near Barber and drains toward the west into the Snake River near Parma. The Owyhee mountains and the Central Idaho Mountains are composed predominantly of volcanic and igneous rocks. The western portion of the Snake River Plain is a northwest trending complex graben formed by extension and regional uplift along the northern boundary of the basin and range province (Wood and Clemens, 2004). The graben generally forms a basin which has been partially filled with younger sedimentary and volcanic rocks (Malde, 1991).

The Boise River Valley is bounded on the northeast by the Boise Front, which is a northwest trending topographic high extending generally from Boise to Emmett, Idaho. The Boise Front consists of Cretaceous aged granitic and metamorphic rocks cut by Tertiary aged rhyolite and overlain with

Miocene aged lake sediments (Wood and Clemens, 2004). These units have been cut by northwest trending faults which down drop these units toward the southwest. The faults also provide conduits for Quaternary aged basalt intrusions and flows (Malde, 1991).

The depositional environment for the valley floor is dominantly lake laid deposits of sand, silt and clay. These materials were deposited during two periods of lake activity, one during the Miocene and the other during the Pleistocene. This valley infilling process has been subsequently truncated by down faulting within the valley ranging in height from a few feet to over 50 feet. Younger alluvium has been, and continues to be, transported dominantly by water and deposited on the basins gently sloping valley floor and within low-level flood plains. Portions of the alluvial deposits are being down cut by intermittent streams to the flood plain, and as a result stream terraces are being formed.

## **SITE SOILS**

### **Artificial Fill**

The property has been cultivated for agricultural use, the upper 6 to 12 inches of material has been disturbed and consists of a brown to dark brown lean sandy clay and sandy silt with a moderate amount of organics and roots, this shall be considered artificial fill. Deeper fills may be encountered onsite. The "Artificial Fills" are soft and contain organics/roots and are not considered suitable for support of foundations. All artificial fill material should be removed as described in the "Removals" section of this report.

### **Native Alluvial Soils**

Alluvial soils encountered generally consisted surficial layers of silts and sands underlain by partially cemented sands, sands, and gravel. The moisture content within the alluvial materials was generally moist near surface and wet to saturated at depth. The consistency of these soils was medium dense near surface and ranged from medium dense to moderately hard at depth. We anticipate that the onsite soils can be excavated with conventional earthwork equipment. Partially cemented layers of material were encountered in the several of our excavations; however, we anticipate that the onsite soils can be excavated with conventional earthwork equipment equivalent to CAT D9R dozers and CAT 235 excavators. Special excavation equipment and techniques may be necessary dependent upon if harder materials are encountered during construction.

After artificial fill is removed, the upper 12 inches of the alluvium will require, at a minimum, some removal and/or processing efforts to be considered suitable for the support of the proposed site improvements. Locally deeper processing/removals may be necessary. Refer to the "Recommendations Earthwork Construction" section of this report for specific site preparation recommendations.

## **SURFACE & GROUND WATER**

Irrigation ditches exist in the vicinity of the site and they transmit water on a periodic basis. Generally, irrigation ditches and canals will locally influence ground water during the irrigation season (i.e., May through October).

Ground water was encountered in each of our excavations during our field investigation with depths ranging between to 6.57 and 7.80 feet below existing ground surface. Due to existing ground water conditions, it should be expected that special excavation and fill placement measures may be necessary. Wet materials should be spread out and air-dried or mixed with drier soils to reduce their moisture content as appropriate for fill placement. Ground water is not anticipated to adversely affect planned development, provided that earthwork construction methods comply with recommendations contained in this report or those made subsequent to review of the improvement plan(s). GTI assumes that the design civil engineer of record will evaluate the site for potential flooding and set grades such that the improvements are adequately protected. These observations reflect conditions at the time of this investigation and do not preclude changes in local ground water conditions in the future from natural causes, damaged structures (lines, pipes etc.), or heavy irrigation.

### **TECTONIC FAULTING AND REGIONAL SEISMICITY**

The site is situated in an area of active as well as potentially active tectonic faults, however no faults were observed during our field evaluation. There are a number of faults in the regional area, which are considered active and would have an affect on the site in the form of ground shaking, should they be the source of an earthquake. It is reasonable to assume that structures built in this area will be subject to at least one seismic event during their life, therefore, it is recommended that all structures be designed and constructed in accordance with the International Building Code (IBC). Based on our experience in the general vicinity, references in our library, field evaluation of the site, a Seismic Design Site Class Designation of 'D' may be used for seismic design.

#### **Secondary Seismic Constraints**

The following list includes other potential seismic related hazards that have been evaluated with respect to the site, but in our opinion, the potential for these seismically related constraints to affect the site is considered negligible.

- \* Liquefaction
- \* Dynamic Settlements
- \* Surface Fault Rupture
- \* Ground Lurching or Shallow Ground Rupture

#### **Summary:**

It is important to keep in perspective that if a seismic event were to occur on any major fault, intense ground shaking could be induced to this general area. Potential damage to any settlement sensitive structures would likely be greatest from the vibrations and impelling force caused by the inertia of the structures mass than that created from secondary seismic constraints. Considering the subsurface soil conditions and local seismicity, it is estimated that the site has a low risk associated with the potential for these phenomenon to occur and adversely affect surface improvements. These potential risks are no greater at this site than they are for other structures and improvements developed on the alluvial materials in this vicinity.

## **RESULTS OF LABORATORY TESTING**

Laboratory tests were performed on representative samples of the onsite earth materials in order to evaluate their physical and chemical characteristics. The tests performed and the results obtained are presented in Appendix D.

## **CONCLUSIONS**

Based on our field exploration, laboratory testing and engineering analyses, it is our opinion that the subject site is suited for development from a geotechnical engineering viewpoint. The recommendations presented herein should be incorporated into the final design, grading, and construction phases of development. The engineering analyses performed concerning site preparation and the recommendations presented below, have been completed using the information provided to us regarding site development. In the event that the information concerning proposed development is not correct, the conclusion and recommendations contained in this report shall not be considered valid unless the changes are reviewed and conclusions of this report are modified or approved in writing by this office.

## **RECOMMENDATIONS - EARTHWORK CONSTRUCTION**

### **General**

All grading should conform to the International Building Code (IBC) and the requirements of the City of Meridian except where specifically superseded in the text of this report. During earthwork construction all removals, drain systems, slopes, and the general grading procedures of the contractor should be observed and the fill selectively tested.

If unusual or unexpected conditions are exposed in the field, they should be reviewed by this office and if warranted, modified and/or additional recommendations will be offered. It is recommended that the earthwork contractor(s) perform their own independent reconnaissance of the site to observe field conditions first hand. If the contractor(s) should have any questions regarding site conditions, site preparation, or the remedial recommendations provided, they should contact an engineer at GeoTek for any necessary clarifications prior to submitting earthwork bids. All applicable requirements of local and national construction and general industry safety orders, the Occupational Safety and Health Act, and the Construction Safety Act should be met.

### **Demolition**

The following recommendations are provided as guidelines in the event a structure is encountered that are not intended to remain.

1. All existing surface or subsurface structures (not intended to remain), within the area to be developed, should be razed and moved off site.
2. If a septic tank (to be abandoned or below a proposed improvement) is located within the project site, it is recommended that it be pumped out and with few exceptions likely removed.

Any leach lines, seepage pits, or other pipes associated with this structure should also be removed or properly abandoned.

3. If any wells are encountered, an attempt should be made to identify the owner and purpose of the well. Well abandonment should adhere to the recommendations provided by the Idaho Department of Water Resources, the Public Health Department, or any other government agencies. If the well is located in the area of a proposed structure, these recommendations should be reviewed by GTI and if warranted, additional geotechnical recommendations will be offered.

### **Removals/Processing - General**

Presented below are removal/processing recommendations for the various earth materials encountered on the project. Debris, vegetation, and other deleterious material should be stripped/removed from areas proposed for structural improvements.

Based on a review of the exploratory logs and our site reconnaissance, after the artificial fill is removed (upper 6 to 12 inches), a minimum removal/processing depth of 12 inches into alluvial materials should be accomplished across the site. If the left in place soils can be scarified to encounter a competent layer below; they may be processed in place; otherwise, they should be removed to competent material. Locally deeper removals/processing may be necessary based on the field conditions exposed

We recommend that all surficial lean and fat clays (if encountered) be removed from beneath the foundations and replaced with a low expansive structural fill. The exposed ground surface should be moisture conditioned and compacted a minimum of 12 inches to provide a more uniform foundation support. A minimum relative compaction of 90 percent of the laboratory maximum modified density (ASTM D 1557) at moisture content of optimum or above is necessary to generate any near surface settlements. Locally deeper removals/processing may be necessary based on the conditions exposed. Removal bottoms should be checked by a representative of GeoTek, Inc. to see if deeper removals are necessary.

If very hard cemented materials are encountered during over-excavation, excavation may potentially be terminated, but this will need to be determined on a case by case basis by a representative of GTI. Foundations for the proposed structures may be founded on cemented material; however, in order to avoid the potential for differential settlement, the entire foundation would need to be supported entirely on the cemented material. If this is not possible, cemented materials should be removed to a minimum depth of 12 inches below the bottom of the footing and replaced with compacted structural fill. This can best be determined in the field based upon the conditions exposed. Termination of any excavation on cemented soils will need to be reviewed by GTI and the owner.

If existing improvements or property line restrictions limit removals, condition specific recommendations would be provided on a case-by-case basis. During earthwork construction, care should be taken by the contractor so that adverse ground movements or settlements are not generated affecting existing improvements.

### **Transitional Pads**

Transitional pads are defined in this report as pads which are partially cut and partially fill. To mitigate some of the differential settlement which will occur on transitional pads, the cut side should be over-excavated/processed to a minimum depth equal to 2 feet below the bottom of the footings or to the depth of the fill, whichever is less. On transitional pads with more than 7.5 feet of fill, plans need to be reviewed by GTI and site-specific recommendations will be provided.

### **Excavation Difficulty**

We anticipate that the onsite soils can be excavated with conventional earthwork. Seasonal conditions could cause wet soil conditions to occur onsite. Depending on the depth of cuts, it should be expected that special excavation and fill placement measures may be necessary. Wet materials should be spread out and air-dried or mixed with drier soils to reduce their moisture content to the appropriate level for fill placement. Frozen soils, if encountered, should be removed and allowed to thaw prior to any fill placement or construction. Removal bottoms should be checked by a representative of GTI to see if deeper removals are necessary.

### **Fill Placement**

Subsequent to completing removals/processing and ground preparation, the excavated onsite and/or imported soils may be placed in relatively thin lifts (less than 8 inches thick), cleaned of vegetation and debris, brought to at least optimum moisture content, and compacted to a minimum relative compaction of 95 percent of the laboratory standard (ASTM D 1557).

### **Import Material**

Potentially, soils will be imported to the site for earthwork construction purposes. A sample of any intended import material should first be submitted to GTI so that, if necessary, additional laboratory or chemical testing can be performed to verify that the intended import material is compatible with onsite soils. In general, import material should be within the following minimum guidelines:

- \* Free of organic matter and debris.
- \* Maintain less than 0.2 percent sulfate content.
- \* Maintain less than 3.0 percent soluble material.
- \* Maintain less than 0.02 percent soluble chlorides.
- \* Maintain less than 0.2 percent sodium sulfate content.
- \* Maintain a Plasticity Index less than 12 (i.e., low expansive).
- \* One hundred percent passing the six-inch screen.
- \* At least seventy-five percent passing a three-inch screen.

### **Observation and Testing**

During earthwork construction all removal/processing and the general grading procedures should be observed and the fill selectively tested by a representative(s) of GTI. If unusual or unexpected conditions are exposed in the field, they should be reviewed by GTI and if warranted, modified and/or additional recommendations will be offered.

### **Ground Water**

Ground water was encountered during our field evaluation at depths of approximately 6.57 to 7.80+ feet, where observed, beneath the existing ground surface. Based on site conditions in the future, a transient high ground water condition could develop over a clay or less permeable layer and this

condition could generate down gradient seepage. The possible effect these layers could have on this and adjacent sites should be considered, and can best be evaluated in the field during grading. If warranted by exposed field conditions, it may be recommended that a drainage system be established to collect and convey any subsurface water to an appropriate location for drainage. Typically, potential areas of seepage are difficult to identify prior to their occurrence; therefore, it is often best to adopt a "wait and see" approach to determine if any seepage conditions do develop, at which time specific recommendation to mitigate an identified condition can be provided.

### **Earthwork Settlements**

Ground settlement should be anticipated due to primary consolidation and secondary compression. The total amount of settlement and time over which it occurs is dependent upon various factors, including material type, depth of fill, depth of removals, initial and final moisture content, and in-place density of subsurface materials. Compacted fills, to the heights anticipated, are not generally prone to excessive settlement. However, some settlement of the left in-place existing fill and alluvium is expected and the majority of this settlement is anticipated to occur during grading.

### **Slope Stability**

No significantly high (greater than ten feet) slopes are anticipated to be constructed onsite. All slopes should be designed at gradients of 2 to 1 (Horizontal to Vertical) or flatter. All slopes should be constructed in accordance with the minimum requirements of the City of Meridian and the International Building Code. Cut and fill slopes are anticipated to perform adequately in the future with respect to gross and surficial stability if the soil materials are maintained in a solid to semi-solid state (as defined by the soils Atterberg Limits) and are limited to the heights prescribed herein.

The importance of proper compaction to the face of a slope cannot be overemphasized. In order to achieve proper compaction, one or more of the three following methods should be employed by the contractor following implementation of typical slope construction guidelines: 1) track walk the slopes at grade, 2) use a combination of sheeps foot roller and track walking, or 3) overfill the slope 3 to 5 feet laterally and cut it back to grade.

Random testing will be performed to verify compaction to the face of the slope. If the tests do not meet the minimum recommendation of 90 percent relative compaction, the contractor will be informed and additional compactive efforts recommended. A final evaluation of cut slopes during grading will be necessary in order to identify any areas of adverse conditions. The need for remedial stabilization measures should be based on observations made during grading by a representative of this office. Based on our observations, and if warranted, specific remedial recommendations will be offered for stabilization.

## **RECOMMENDATIONS – FOUNDATIONS**

### **General**

Foundation design and construction recommendations are based on preliminary laboratory testing and engineering analysis performed on near surface soils. The proposed foundation systems should be designed and constructed in accordance with the guidelines contained herein and in the International Building Code.

Based on our experience in the area, the soils onsite should have a negligible corrosive potential to concrete and metal, materials selected for construction purposes should be resistant to corrosion. Where permitted by building code, PVC pipe should be utilized. All concrete should be designed, mixed, placed, finished, and cured in accordance with the guidelines presented by the Portland Cement Association (PCA) and the American Concrete Institute (ACI).

Based on our grading recommendations, the soils beneath the foundations are anticipated to have low expansion potential. Therefore, foundation recommendations for low expansive soil conditions are provided below. If more expansive soils are encountered, the pad(s) will either need to be regraded and the more expansive soils removed by the contractor or increased foundation recommendations will need to be provided.

**Conventional Foundation Recommendations**

Column loads are anticipated to be 50 kips or less while wall loads are expected to be 3 kips per lineal foot or less. The conventional recommendations provided are from a geotechnical engineering perspective (i.e., for expansive conditions) and are not meant to supersede the design by the project's structural engineer.

Preliminary recommendations for foundation design and construction are presented below. The specific criteria to be used should be verified on evaluation of the proposed buildings, structural loads, and expansion and chemical testing performed after grading is complete.

The bearing values indicated are for the total dead plus frequently applied live loads and may be increased by one third for short duration loading which includes the effects of wind or seismic forces. When combining passive pressure and friction for lateral resistance, the passive component should be reduced by one third. A grade beam, reinforced as below and at least 12 inches wide, should be utilized across all large entrances. The base of the grade beam should be at the same elevation as the bottom of the adjacent footings. Footings should be founded at a minimum depth of 24 inches below lowest adjacent ground surface as required by local codes to extend below the frost line. Reinforcement for spread footings should be designed by the project's structural engineer.

For foundations systems including a crawl space, it is recommended that it be designed so that water is not allowed to penetrate the crawl space. Proper grading and backfill for the foundations is critical and should adhere to the "fill placement" and "drainage" recommendations of this evaluation as well as local building codes.

<b>Footing Type</b>	<b>Soil Expansion Classification</b>	<b>Minimum Footing Depth (inches)</b>	<b>Allowable Bearing Pressure (psf)</b>	<b>Coefficient of Friction</b>	<b>Passive Earth Pressure (psf/ft)</b>	<b>Maximum Earth Pressure (psf)</b>
Strip/Spread	Low	24	2,000	0.35	250	3,000

The coefficient of friction and passive earth pressure values recommended are working values. Strip footings should have a minimum width of one foot and spread footings should have a minimum soil to concrete area of four square feet. Increases are allowed for the bearing capacity of the footings at a rate of 250 pounds per square foot for each additional foot of width and 250 pounds per square foot for each additional foot of depth into the recommended bearing material, up to a maximum outlined. If the bearing value exceeds 3,000 psf, an additional review by GTI is recommended. As mentioned earlier, the exposed ground surface should be moisture conditioned and compacted a minimum of 12 inches below bottom of footings. Prior to the placement of concrete, moisture should be added to the subgrade soils to minimize water loss of the concrete during placement and curing.

### **Foundation Settlement**

Provided that the recommendations contained in this report are incorporated into final design and construction phase of development, total settlement is estimated to be less than one inch and differential settlement is estimated to be less than 0.75 inches for a 25-foot span. Two-way angular distortions due to settlements are not estimated to exceed 1/400. The structures should be loaded uniformly so as to avoid any localized settlements.

## **PAVEMENT SECTIONS**

Pavement sections presented in the following table are based on an R-value of 33, assumed traffic index(s) for residential construction and estimated traffic index(s) for commercial construction, and the guidelines presented in the latest edition of the ACHD Development Policy Manual. These pavement sections are presented for planning purposes only and should be verified based on specific laboratory testing performed subsequent to rough grading of the site.

### **Pavement Construction and Maintenance**

All section changes should be properly transitioned. If adverse conditions are encountered during the preparation of subgrade materials, special construction methods may need to be employed. All subgrade materials should be processed to a minimum depth of 12 inches and compacted to a minimum relative compaction of 90 percent near optimum moisture content. All aggregate base should be compacted to a minimum relative compaction of 95 percent at optimum moisture content. The recommended pavement sections provided are meant as minimums. If thinner or highly variable pavement sections are constructed, increased maintenance and repair should be expected. If the ADT (average daily traffic) or ADTT (average daily truck traffic) increases beyond that intended, as reflected by the traffic index(s) used for design, increased maintenance and repair could be required for the pavement section.

Positive site drainage should be maintained at all times. Water should not be allowed to pond or seep into the ground. If planters or landscaping are adjacent to paved areas, measures should be taken to minimize the potential for water to enter the pavement section.

ASSUMED TRAFFIC RIGHT-OF-AWAY	SUBGRADE R-VALUE	MINIMUM ASPHALT CONCRETE THICKNESS (in.)	MINIMUM AGGREGATE THICKNESS (in.)	
			Aggregate Base (3/4" minus)	Subbase (Pitrun)
Parking and Drives No Truck Access TI = 6.0	33	2.5	4.0	6.0
Truck Access TI = 8.0	33	3.0	6.0	10.0

**OTHER RECOMMENDATIONS**

**Site Improvements**

As is commonly known, expansive soils are problematic with respect to the design, construction and long term performance of concrete flatwork. Due to the nature of concrete flatwork, it is essentially impossible to totally mitigate the effects of soil expansion. Typical measures to control soil expansion for structures include; low expansive soil caps, deepened foundation system, increased structural design, and soil presaturation. As they are generally not cost effective, these measures are very seldom utilized for flatwork because it's less costly to simply replace any damaged or distressed sections than to "structurally" design them. Even if "structural" design parameters are applied to flatwork construction, there would still be relative movements between adjoining types of structures and other improvements (e.g., curb and sidewalk). This is particularly true as the level of care during construction of flatwork is often not as meticulous as that for structures. Unfortunately, it is fairly common practice for flatwork to be poured on subgrade soils, which have been allowed to dry out since site grading. Generally after flatwork construction is completed, landscape irrigation begins, utility lines are pressurized, and drainage systems are utilized; presenting the potential for water to enter the dry subgrade soils, causing the soil to expand.

Recommendations for exterior concrete flatwork design and construction can be provided upon request. If, in the future, any additional improvements are planned for the site, recommendations concerning the geological or geotechnical aspects of design and construction of said improvements could be provided upon request. This office should be notified in advance of any fill placement, grading, or trench backfilling after rough grading has been completed. This includes any grading, utility trench and retaining wall backfills.

**Landscape Maintenance and Planting**

Water has been shown to weaken the inherent strength of all earth materials. Slope stability is significantly reduced by overly wet conditions. Graded slopes constructed within and utilizing onsite materials would be erosive. Eroded debris may be minimized and surficial slope stability enhanced by establishing and maintaining a suitable vegetation cover as soon as possible after construction.

Compaction to the face of fill slopes would tend to minimize short-term erosion until vegetation is established. Plants selected for landscaping should be lightweight, deep-rooted types, which require little water and are capable of surviving the prevailing climate. From a geotechnical standpoint leaching is not recommended for establishing landscaping. If the surface soils are processed for the purpose of adding amendments, they should be recompact to 90 percent compaction. Only the amount of irrigation necessary to sustain plant life should be provided. Over watering the landscape areas could adversely affect proposed site improvements. We recommend that any proposed open bottom planter areas adjacent to proposed structures, be eliminated for a minimum distance of 5 feet and desert landscape using xeriscape technology be used outside of this buffer zone. As an alternative, closed bottom type planters could be utilized. An outlet, placed in the bottom of the planter, could be installed to direct drainage away from structures or any exterior concrete flatwork. Irrigation timers should be adjusted on a monthly basis.

### **Soil Corrosion**

Based on our experience in the area, the soils onsite should have a negligible corrosive potential to concrete and metal, materials selected for construction purposes should be resistant to corrosion. Where permitted by building code PVC pipe should be utilized. All concrete should be designed, mixed, placed, finished, and cured in accordance with the guidelines presented by the Portland Cement Association (PCA) and the American Concrete Institute (ACI).

### **Trench Excavation**

All footing trench excavations should be observed by a representative of this office prior to placing reinforcement. Footing trench spoil and any excess soils generated from utility trench excavations should be compacted to a minimum relative compaction of 90 percent if not removed from the site. Considering the nature of the onsite soils, it should be anticipated that caving or sloughing could be a factor in excavations. Shoring or excavating the trench walls and slopes to the angle of repose (typically 25 to 45 degrees) may be necessary and should be anticipated in non-cemented soils. All excavations should be observed by one of our representatives and conform to national and local safety codes.

### **Onsite Utility Trench Backfill**

Considering the overall nature of the soil encountered onsite, it should be anticipated that materials will need to be imported to the site for use as pipe bedding and pipe zone material. All utility trench backfill should be brought to near optimum moisture content and then compacted to obtain a minimum relative compaction of 90 percent of the laboratory standard. Compaction testing and observation, along with probing should be performed to verify the desired results. Sand backfill, unless excavated from the trench, should not be used adjacent to perimeter footings or in trenches on slopes. Compaction testing and observation, along with probing should be performed to verify the desired results. Sand backfill, unless excavated from the trench, should not be used adjacent to perimeter footings or in trenches on slopes. Compaction testing and observation, along with probing should be performed to verify the desired results. Offsite utility trenches should be compacted to a minimum of 90 relative compaction. Compaction testing and observation, along with probing should be performed to verify the desired results.

**Drainage**

Positive site drainage should be maintained at all times in accordance with the IBC. Drainage should not flow uncontrolled down any descending slope. Water should be directed away from foundations and not allowed to pond and/or seep into the ground. Pad drainage should be directed toward the street or other approved area. The ground immediately adjacent to the foundation shall be sloped away from the building at a minimum of 5-percent for a minimum distance of 10 feet measured perpendicularly to the face of the wall. If physical obstructions prohibit 10 feet of horizontal distance, a 5-percent slope shall be provided to an approved alternate method of diverting water away from the foundation. Swales used for this purpose shall be sloped a minimum of 2-percent where located within 10 feet of the building foundation. Impervious surfaces within 10 feet of the building foundation shall be sloped a minimum of 2-percent away from the building. Roof gutters and down spouts should be utilized to control roof drainage. Down spouts should outlet onto paved areas or a minimum of five feet from proposed structures or into a subsurface drainage system. Areas of seepage may develop due to irrigation or heavy rainfall. Minimizing irrigation will lessen this potential. If areas of seepage develop, recommendations for minimizing this effect could be provided upon request.

**PLAN REVIEW**

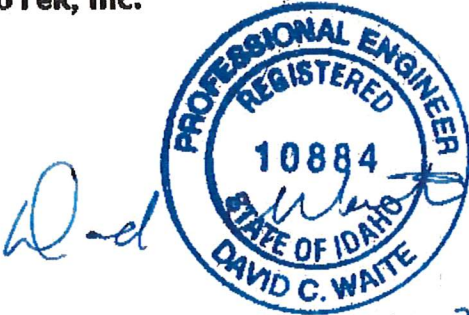
Final grading, foundation, and improvement plans should be submitted to this office for review and comment as they become available, to minimize any misunderstandings between the plans and recommendations presented herein. In addition, foundation excavations and earthwork construction performed on the site should be observed and tested by this office. If conditions are found to differ substantially from those stated, appropriate recommendations would be offered at that time.

**LIMITATIONS**

The materials encountered on the project site and utilized in our laboratory study are believed representative of the area; however, soil materials vary in character between excavations and conditions exposed during mass grading. Site conditions may vary due to seasonal changes or other factors. GeoTek, Inc. assumes no responsibility or liability for work, testing, or recommendations performed or provided by others. Since our study is based upon the site materials observed, selective laboratory testing and engineering analysis, the conclusions and recommendations are professional opinions. These opinions have been derived in accordance with current standards of practice and no warranty is expressed or implied. Standards of practice are subject to change with time.

The opportunity to be of service is greatly appreciated. If you have any questions concerning this report or if we may be of further assistance, please do not hesitate to contact the undersigned.

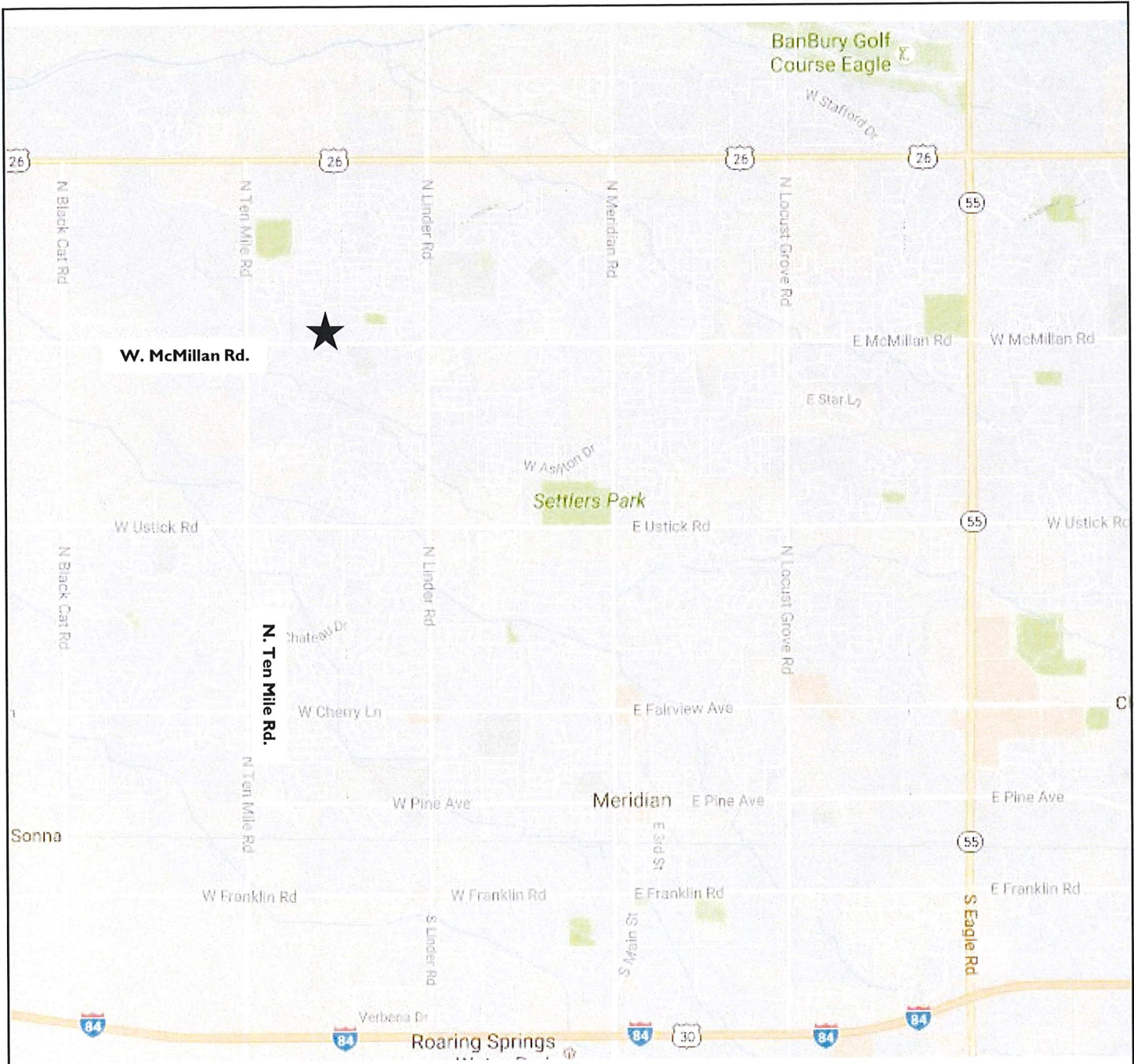
Respectfully submitted,  
GeoTek, Inc.



*D. Waite*

10-25-16

David C. Waite, PE  
Branch Manager  
Senior Engineer



**★ APPROXIMATE SITE LOCATION**



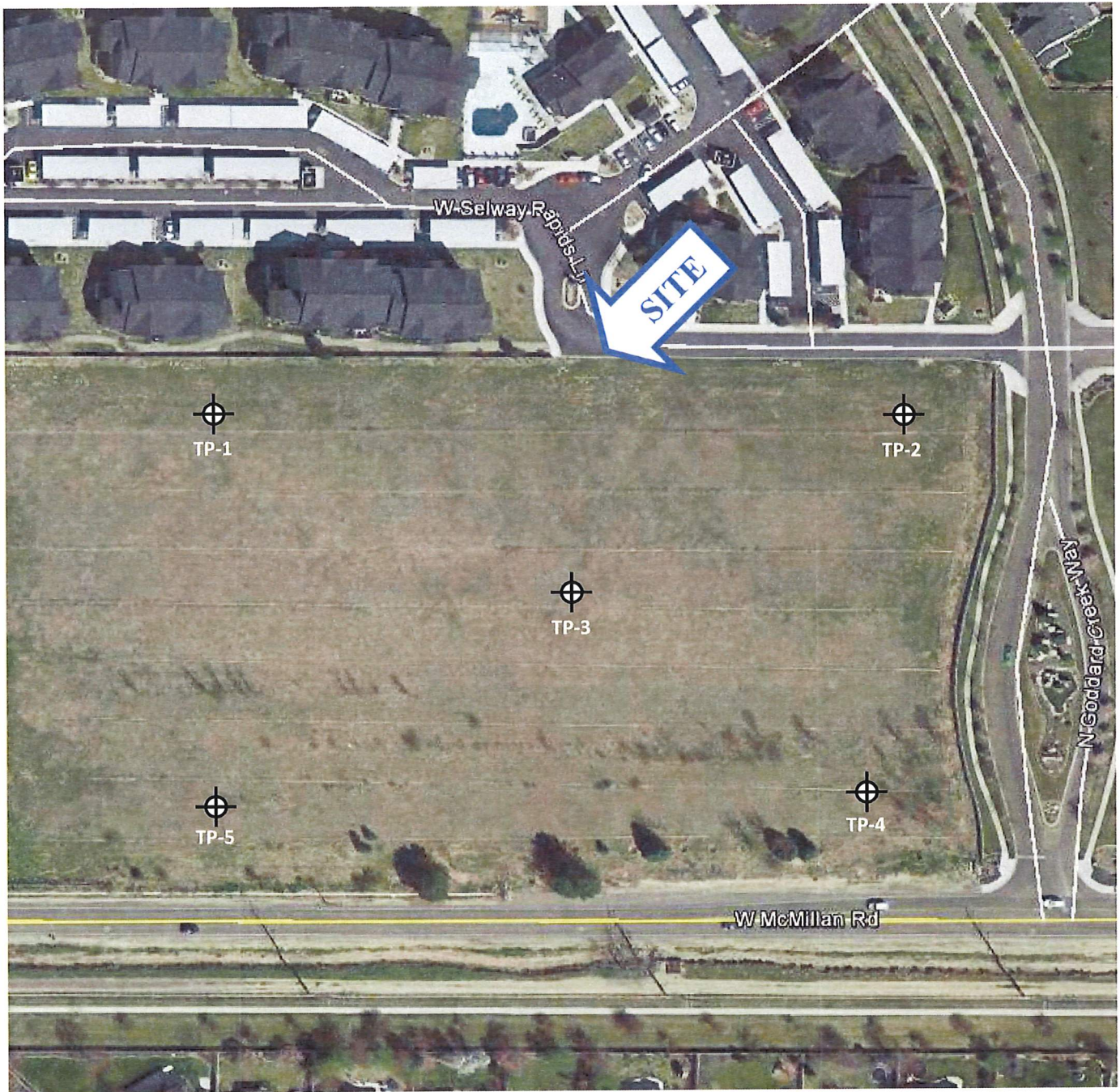
Source: Google Maps 2016, GeoTek Field Observations, 2016.  
 Not to Scale



GEOTECHNICAL | ENVIRONMENTAL | MATERIALS  
 320 E. Corporate Dr, Suite 300, Meridian, ID 83642  
 (208) 888-7010 (phone) / (208) 888-7924 (FAX)

**FIGURE I**  
**SITE VICINITY MAP**  
 McMillan Mini Storage  
 Meridian, Idaho  
 Prepared for: BPX Commercial Inc.

Project No: <b>1820-ID3</b>	Report Date: <b>October 2016</b>	Drawn By: <b>DCW</b>
--------------------------------	-------------------------------------	-------------------------



 **APPROXIMATE TEST PIT, PERCOLATION TEST, AND GROUNDWATER MONITORING LOCATIONS**



Source: Google Earth 2016, GeoTek Field Observations, 2016.  
Not to Scale



GEOTECHNICAL | ENVIRONMENTAL | MATERIALS

320 E. Corporate Dr, Suite 300, Meridian, ID 83642  
(208) 888-7010 (phone) / (208) 888-7924 (FAX)

**FIGURE 2**  
**SITE EXPLORATION PLAN**  
McMillan Mini Storage  
Meridian, Idaho  
Prepared for: BPX Commercial Inc.

Project No.:  
**1820-ID3**

Report Date:  
**October 2016**

Drawn By:  
**DCW**

# **APPENDIX A**

## REFERENCES

Ada County Highway District Development Policy Manual, Revised by Resolution No. 690, October 2003

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Johnson, Bruce R. and Raines, Gary L., 1995, Digital representation of the Idaho state geologic map: a contribution to the Interior Columbia Basin Ecosystem Management Project. USGS Open-File Report 95-690

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USGS, Cloverdale Quadrangle, 7.5-Minute Series Topographic Map, 1979.

USGS, 2003, Seismic Hazard Map of Idaho, Peak Acceleration (%g) with 2% Probability of Exceedance in 50 years.

# **APPENDIX B**

## LOG GENERAL NOTES

CONSISTENCY OF FINE-GRAINED SOILS		
Unconfined Compressive Strength, $Q_u$ , psf	Standard Penetration or N-Value (SS) Blows/Ft	Consistency
< 500	<2	Very Soft
500 - 1,000	2 - 3	Soft
1,001 - 2,000	4 - 7	Firm
2,001 - 4,000	8 - 16	Stiff
4,001 - 8,000	17 - 32	Very Stiff
> 8,001	32+	Hard

RELATIVE DENSITY OF COARSE-GRAINED SOILS	
Standard Penetration (SPT) or N-Value (SS) Blows/Ft	Relative Density
0 - 3	Very Loose
4 - 9	Loose
10 - 29	Medium Dense
30 - 49	Dense
50+	Very Dense





















SPT penetration test using 140 pound hammer, with 30 inch free fall on 2 inch outside diameter(1-3/8 ID) sampler  
 For ring sampler using 140 lb hammer, with a 30 inch free fall on 3 inch outside diameter (2-1/2 ID) sample,  
 use N-value x 0.7 to get Standard N-value  
 For fine grained soil consistency, thumb penetration used per ASTM D-2488






RELATIVE PROPORTIONS OF SAND AND GRAVEL	
Descriptive Term of other constituents	Percent of Dry Weight
Trace	< 15
With	15 - 29
Modifier	> 30

GRAIN SIZE TERMINOLOGY	
Major Component of Sample	Particle Size
Boulders	Over 12 inches
Cobbles	3 inches to 12 inches
Gravel	#4 Sieve to 3 inches
Sand	#200 Sieve to #4 Sieve
Silt or Clay	Passing #200 Sieve

RELATIVE HARDNESS OF CEMENTED SOILS (CALICHE)	
Description	General Characteristics
Very Dense to Moderately Hard	Partially Cemented Granular Soil - Can be carved with a knife and broken with force by hand.
Very Stiff to Moderately Hard	Partially Cemented Fine-Grained Soil - Can be carved with a knife and broken with force by hand.
Moderately Hard	Moderate hammer blow required to break a sample
Hard	Heavy hammer blow required to break a sample
Very Hard	Repeated heavy hammer blow required to break a sample

# LOG LEGEND

MATERIAL DESCRIPTION		
Soil Pattern	USCS Symbol	USCS Classification
	FILL	Artificial Fill
	GP or GW	Poorly/Well graded GRAVEL
	GM	Silty GRAVEL
	GC	Clayey GRAVEL
	GP-GM or GW-GM	Poorly/Well graded GRAVEL with Silt
	GP-GC or GW-GC	Poorly/Well graded GRAVEL with Clay
	SP or SW	Poorly/Well graded SAND
	SM	Silty SAND
	SC	Clayey SAND
	SP-SM or SW-SM	Poorly/Well graded SAND with Silt
	SP-SC or SW-SC	Poorly/Well graded SAND with Clay
	SC-SM	Silty Clayey SAND
	ML	SILT
	MH	Elastic SILT
	CL-ML	Silty CLAY
	CL	Lean CLAY
	CH	Fat CLAY
	PCEM	PARTIALLY CEMENTED
	CEM	CEMENTED
	BDR	BEDROCK

SAMPLING	
	SPT
	Ring Sample
	No Recovery
	Bulk Sample
	Water Table

CONSISTENCY					
Cohesionless Soils		Cohesive Soils		Cementation	
VL	Very Loose	So	Soft	MH	Moderately Hard
L	Loose	F	Firm	H	Hard
MD	Medium Dense	S	Stiff	VH	Very Hard
D	Dense	VS	Very Stiff		
VD	Very Dense				



**GEOTEK**

# TEST PIT LOG

PROJECT #: 1820-ID3  
 PROJECT: McMillan Mini Storage  
 CLIENT: BPX Commercial Inc.  
 LOCATION: \_\_\_\_\_

LOGGED BY: DCW  
 METHOD: Backhoe  
 EXCAVATOR: Just Dig It  
 DATE: 10/12/16  
 ELEVATION: \_\_\_\_\_

Depth (ft)	SAMPLES		Soil Pattern	USCS Symbol	TEST PIT NUMBER: TP-1 MATERIAL DESCRIPTION AND COMMENTS	Consistency	REMARKS
	Sample Type	Blows / 6 in.					
1			[Pattern]	FILL	Brown to Dk Brown Sandy CLAY w/ organics; moist	So	
				SM	Lt Brown to Brown Silty SAND; moist	MD	
2			[Pattern]				
3				SP	Lt Brown to Brown Fine-Med Coarse SAND; moist to wet	MD	
4			[Pattern]				
5					wet to saturated		
6			[Pattern]				Water measured at 6.57'
7				GP	Tan to Lt Brown GRAVEL w/ sand; saturated	MD	
8			[Pattern]				
9							
10					Bottom of Test Pit @ 10'-0"		
11			[Pattern]				
12							
13							
14							
15							
16							
17							
18							
19							
20							



**GEOTEK**

# TEST PIT LOG

PROJECT #: 1820-ID3  
 PROJECT: McMillan Mini Storage  
 CLIENT: BPX Commercial Inc.  
 LOCATION: \_\_\_\_\_

LOGGED BY: DCW  
 METHOD: Backhoe  
 EXCAVATOR: Just Dig It  
 DATE: 10/12/16  
 ELEVATION: \_\_\_\_\_

Depth (ft)	SAMPLES		Soil Pattern	USCS Symbol	TEST PIT NUMBER: TP-2 MATERIAL DESCRIPTION AND COMMENTS	Consistency	REMARKS
	Sample Type	Blows / 6 in.					
1				FILL	Brown to Dk Brown Sandy CLAY w/ organics; moist	So	
2				SP	Lt Reddish Brown Fine-Med Coarse SAND; moist (thin cemented layers throughout)	VD	
3				SP	Lt Brown to Brown Fine-Med Coarse SAND; moist to wet	MD	
4					wet to saturated		
5							
6							
7							Water measured at 7.51'
8				GP	Tan to Lt Brown GRAVEL w/ sand; saturated	MD	
9							
10					Bottom of Test Pit @ 10'-0"		
11							
12							
13							
14							
15							
16							
17							
18							
19							
20							



# TEST PIT LOG

**GEOTEK**

PROJECT #: 1820-ID3  
 PROJECT: McMillan Mini Storage  
 CLIENT: BPX Commercial Inc.  
 LOCATION: \_\_\_\_\_

LOGGED BY: DCW  
 METHOD: Backhoe  
 EXCAVATOR: Just Dig It  
 DATE: 10/12/16  
 ELEVATION: \_\_\_\_\_

Depth (ft)	SAMPLES		Soil Pattern	USCS Symbol	TEST PIT NUMBER: TP-3 MATERIAL DESCRIPTION AND COMMENTS	Consistency	REMARKS
	Sample Type	Blows / 6 in.					
1				FILL	Brown to Dk Brown Sandy CLAY w/ organics; moist	So	
2				SM	Lt Brown to Brown Silty SAND; moist	MD	
3				SP	Lt Reddish Brown Fine-Med Coarse SAND; moist	VD	
4					(thin cemented from 2.5' -4')	MD	
5							
6							
7					(thin cemented from 6.5' -8') wet to saturated	VD	
8				GP	Tan to Lt Brown GRAVEL w/ sand; saturated	MD	Water encountered at 7.8'
9							
10					Bottom of Test Pit @ 10'-0"		
11							
12							
13							
14							
15							
16							
17							
18							
19							
20							



**GEOTEK**

# TEST PIT LOG

PROJECT #: 1820-ID3  
 PROJECT: McMillan Mini Storage  
 CLIENT: BPX Commercial Inc.  
 LOCATION: \_\_\_\_\_

LOGGED BY: DCW  
 METHOD: Backhoe  
 EXCAVATOR: Just Dig It  
 DATE: 10/12/16  
 ELEVATION: \_\_\_\_\_

Depth (ft)	SAMPLES		Soil Pattern	USCS Symbol	TEST PIT NUMBER: TP-4 MATERIAL DESCRIPTION AND COMMENTS	Consistency	REMARKS
	Sample Type	Blows / 6 in.					
				FILL	Brown to Dk Brown Sandy SILT w/ organics; moist	So	
1				SM	Lt Brown to Brown Silty SAND; moist	MD	
2							
3							
4				SP	Lt Reddish Brown Partially CEMENTED SAND; moist	VD-MH	
5							
6							
7				GP	Tan to Lt Brown GRAVEL w/ sand; wet to saturated	MD	Water measured at 7.39'
8							
9							
10					Bottom of Test Pit @ 10'-0"		
11							
12							
13							
14							
15							
16							
17							
18							
19							
20							



**GEOTEK**

# TEST PIT LOG

PROJECT #: 1820-ID3  
 PROJECT: McMillan Mini Storage  
 CLIENT: BPX Commercial Inc.  
 LOCATION: \_\_\_\_\_

LOGGED BY: DCW  
 METHOD: Backhoe  
 EXCAVATOR: Just Dig It  
 DATE: 10/12/16  
 ELEVATION: \_\_\_\_\_

Depth (ft)	SAMPLES		Soil Pattern	USCS Symbol	TEST PIT NUMBER: TP-5 MATERIAL DESCRIPTION AND COMMENTS	Consistency	REMARKS
	Sample Type	Blows / 6 in.					
1			[Soil Pattern: FILL]	FILL	Brown to Dk Brown Sandy SILT w/ organics; moist	So	
				ML	Tan to Lt Brown Sandy SILT; moist	F	
2			[Soil Pattern: SP]	SP	Lt Reddish Brown Fine-Med Coarse SAND; moist	MD	
3				SP	Lt Reddish Brown Partially CEMENTED SAND; moist	VD-MH	
4			[Soil Pattern: GP]	GP	Tan to Lt Brown GRAVEL w/ sand; wet to saturated	MD	
5							
6							
7							Water measured at 7.05'
8							
9							
10					Bottom of Test Pit @ 10'-0"		
11							
12							
13							
14							
15							
16							
17							
18							
19							
20							

# **APPENDIX C**

## **FIELD TESTS AND OBSERVATIONS (1820-ID3)**

### **PERCOLATION TESTS**

The infiltration rate was determined by conducting percolation tests for onsite earth materials. The infiltration rate was determined in inches per hour in general accordance with the City of Meridian requirements. Infiltration rate results are presented below.

<b>LOCATION</b>	<b>INFILTRATION RATE (Inches/Hour)</b>
TP-1 @ 3.85'	12.31
TP-5 @ 2.50'	2.06

### **GROUND WATER MONITORING RESULTS**

Ground water monitoring results are presented below. Ground water elevation results are recorded in feet below existing grade.

<b>LOCATION</b>	<b>GROUNDWATER ELEVATION</b>
TP-1	6.57'
TP-2	7.51'
TP-4	7.39'
TP-5	7.05'

# **APPENDIX D**

## **LABORATORY TESTS RESULTS (1820-ID3)**

### **ATTERBERG LIMITS**

Atterberg limits were performed on representative samples in general accordance with ASTM D 4318. The results are shown in the following plates.

### **PARTICLE SIZE ANALYSIS**

Sieve analyses were performed in general accordance with ASTM test method C136 and ASTM C117. Test results are presented in the following plates.

## Keith, Kristina

---

**From:** Carpenter, John  
**Sent:** Thursday, December 08, 2016 11:31 AM  
**To:** Parks, Shon; Keith, Kristina; Brian Porter (portercon@sbcglobal.net); Brian Rallens (brallens@markbottles.com)  
**Cc:** james@ldputah.com  
**Subject:** FW: 160263-4plex Concept A revised 161207.pdf

Fyi below on the traffic study. Not required for this project.

Thanks,

JOHN CARPENTER, PE | *Nampa Office Manager*



**T-O ENGINEERS**

332 N. Broadmore Way | Nampa, Idaho 83687

☎ 208.442.6300 📠 208.899.0688

[www.to-engineers.com](http://www.to-engineers.com)



---

**From:** Christy Little [<mailto:Clittle@achdidaho.org>]  
**Sent:** Thursday, December 08, 2016 9:01 AM  
**To:** Carpenter, John  
**Subject:** RE: 160263-4plex Concept A revised 161207.pdf

John,  
A TIS is not required.  
Thanks,  
Christy

---

**From:** Carpenter, John [<mailto:jcarpenter@to-engineers.com>]  
**Sent:** Wednesday, December 07, 2016 4:11 PM  
**To:** Christy Little  
**Subject:** FW: 160263-4plex Concept A revised 161207.pdf

Hi Christy,

I met with you a few weeks back about a commercial site off of McMillan Road. The property consists of 12 acres – approximately 7 with storage units and 5 with residential.

When we met I pointed out the 5 acres but did not have a plan for it. You indicated that a traffic study would not be needed for the project. Attached is a concept plan showing both the residential and the storage.

Can you take a quick look and confirm that you would not need a traffic study.

Thanks!

JOHN CARPENTER, PE | *Nampa Office Manager*



**T-O ENGINEERS**

332 N. Broadmore Way | Nampa, Idaho 83687

O 208.442.6300 M 208.899.0688

[www.to-engineers.com](http://www.to-engineers.com)



---

**From:** Parks, Shon

**Sent:** Wednesday, December 07, 2016 10:41 AM

**To:** [sallen@meridiancity.org](mailto:sallen@meridiancity.org)

**Cc:** James Doolin; Carpenter, John

**Subject:** 160263-4plex Concept A revised 161207.pdf

Hello Sonja,

At your request, from our meeting last evening, I have attached is a copy of the plan for McMillan multifamily 4-plex units. Some of the revisions discussed during our meeting are shown on this plan; however, we still need to update the trash enclosure per Republic's new detail and also increase the street section width to 25'.

Please contact John Carpenter or me with any questions.

Kind regards,

SHON PARKS, LA | *Landscape Architect*



**T-O ENGINEERS**

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